



PROJECT:
 FILE:
 DATE:
 DRAWN:

PARKWAY STATION - DESIGN REVIEW
 E. 42nd ST. GARDEN CITY, IDAHO.
EXTERIOR COLORED ELEVATION

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1 FRONT ELEVATION - 4 TOWNHOUSES - COLOR STUDY
 Scale: N.T.S.

SHEET NO.
A3.3

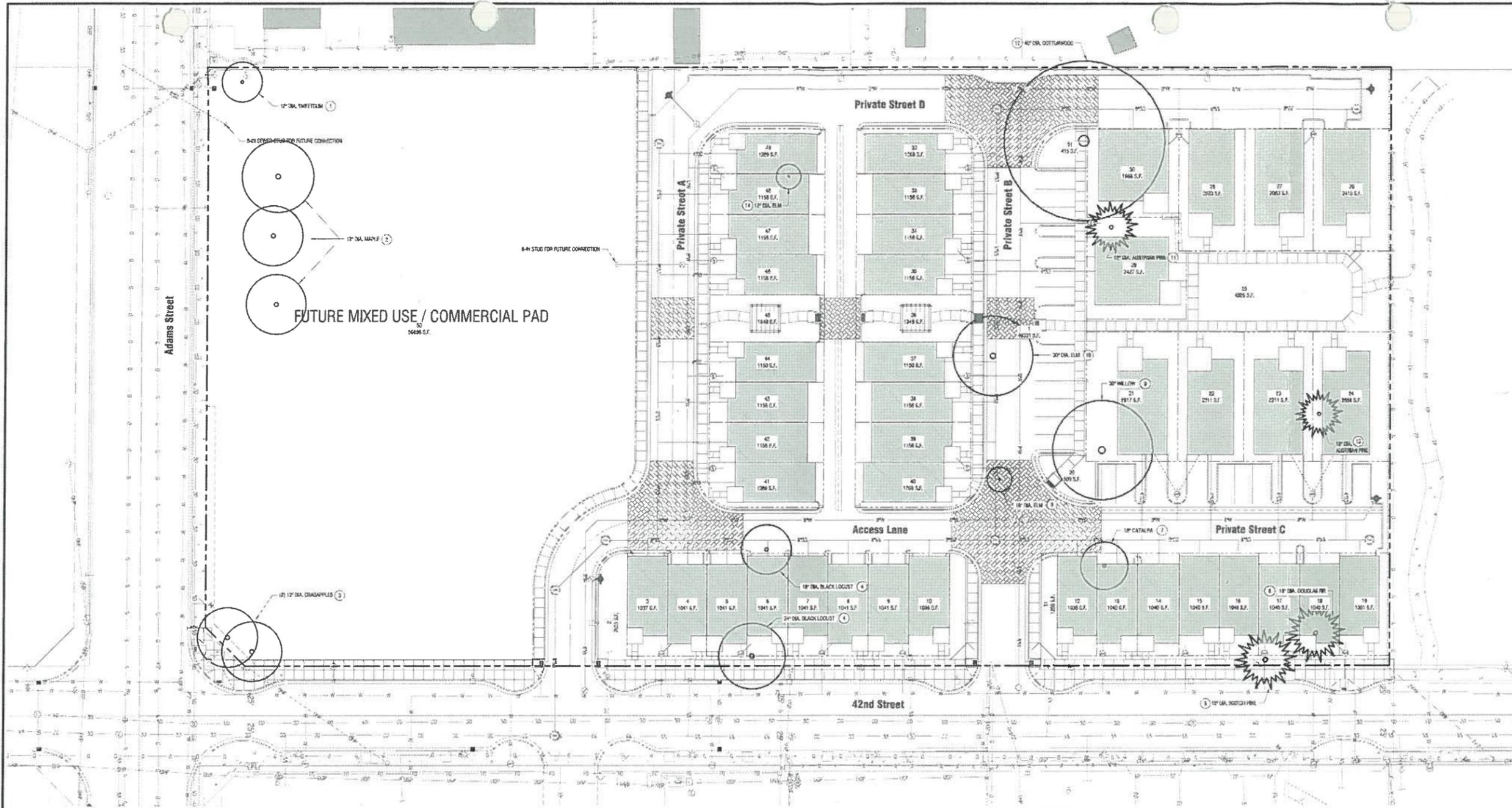


Exhibit "A"
 HORIZONTAL SCALE: 1" = 30'

Property Owner:
 PARKWAY STATION, LLC
 P.O. BOX 50111
 BOISE, IDAHO 83705

Engineer, Landscape Architect, Planner:
 THE LAND GROUP, INC.
 462 E. SHORE DR., SUITE 100
 EAGLE, ID 83818
 PH: 208.939.4041

- Legend:**
- ⊕ SOLID VINYL FENCING - REFER TO LANDSCAPE PLANS FOR SPECIFICATIONS
 - ⊕ WOODEN POST FENCE - REFER TO LANDSCAPE PLANS FOR SPECIFICATIONS
 - ▨ PERMEABLE PAVING
 - PROPERTY BOUNDARY
 - - - PROPERTY LINE
 - - - SETBACK LINE
 - - - SECTION LINE
 - - - CENTERLINE
 - - - LANEWAY
 - P/W WATER
 - S/S SANITARY SEWER
 - ⊕ WATER VALVE
 - ⊕ FIRE HYDRANT
 - ⊕ WATERS METER
 - ⊕ MANHOLE
 - ⊕ DRAINAGE PILE
 - ⊕ ST/SP SIGN

Sheet Notes:
 1. ALL TREE DIAMETERS ARE APPROXIMATE

Exhibit "A"
Existing Trees & Classifications

Parkway Station
 E 42nd Street

Garden City
 Idaho

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JAN 21 2016

NOT FOR CONSTRUCTION

EX-01

ADJACENT RESIDENTIAL

SITE RECAP

TOTAL SITE AREA: 117,403 SF = 2.70 ACRES
 BUILDING COVERAGE: 36,912 SF = 31%
 PAVING: 56,066 SF = 47%
 LANDSCAPING: 24,425 SF = 22%

PARKING SPACES REQUIRED
 (2) SPACES PER UNIT - 41 X 2 = 82
 ADDITIONAL (.5) SPACES PER UNIT - 41 X .5 = 20.5
 TOTAL REQUIRED = 102.5 SPACES

PARKING SPACES PROVIDED
 (2) SPACES PER UNIT - 41 X 2 = 82
 ADDITIONAL SPACES INC. (11) ON STREET SPACES = 24
 TOTAL PROVIDED = 106 SPACES

SINGLE FAMILY COTTAGES 9
 TOWNHOMES 32
 TOTAL NUMBER OF UNITS 41

DENSITY:
 16 UNITS/ACRE

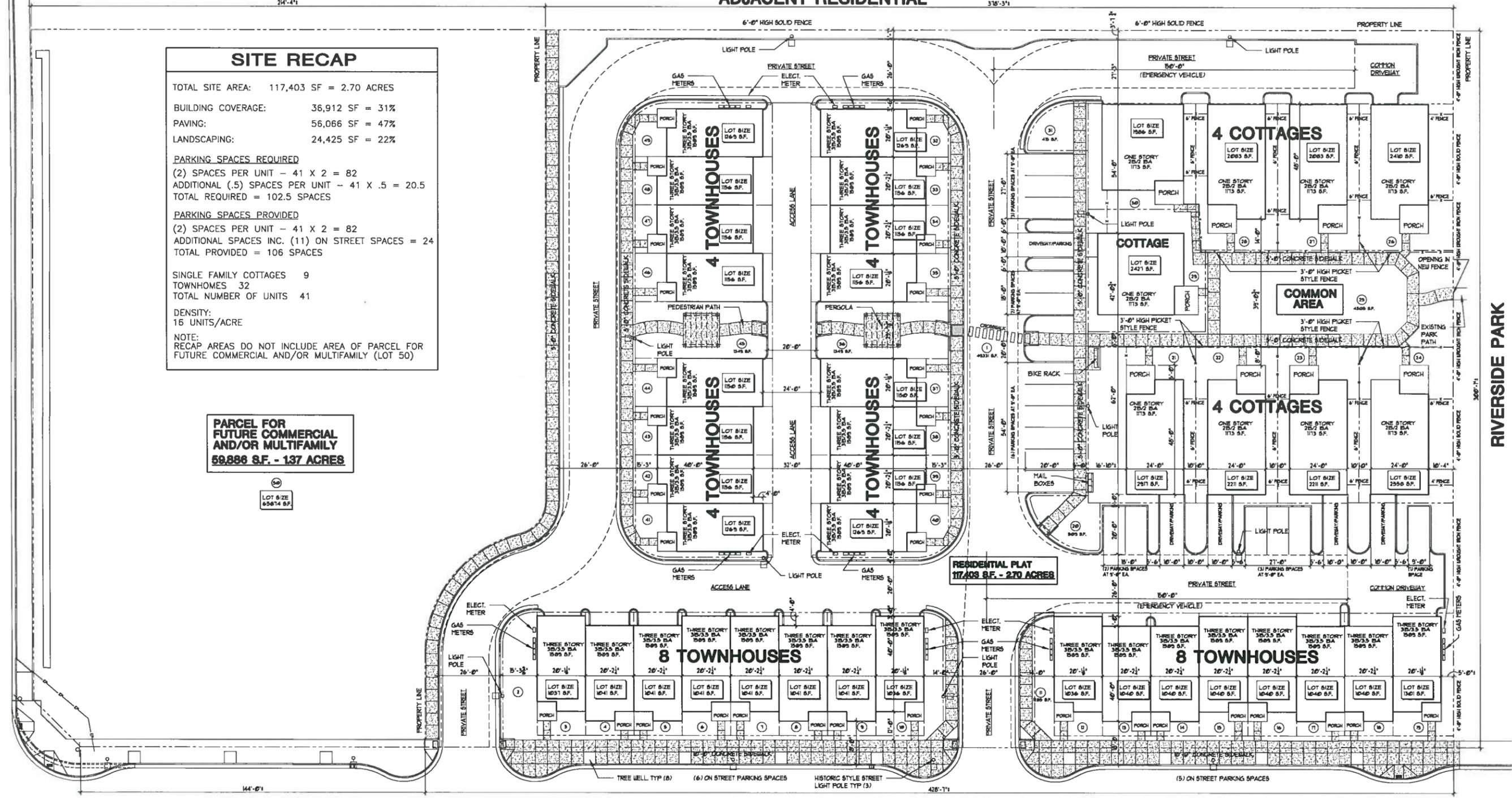
NOTE:
 RECAP AREAS DO NOT INCLUDE AREA OF PARCEL FOR FUTURE COMMERCIAL AND/OR MULTIFAMILY (LOT 50)

PARCEL FOR FUTURE COMMERCIAL AND/OR MULTIFAMILY
 59,886 S.F. - 1.37 ACRES

LOT 50
 65,614 S.F.

ADAMS STREET

RIVERSIDE PARK

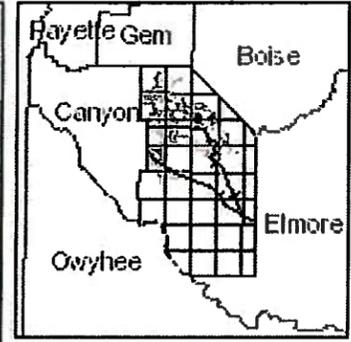
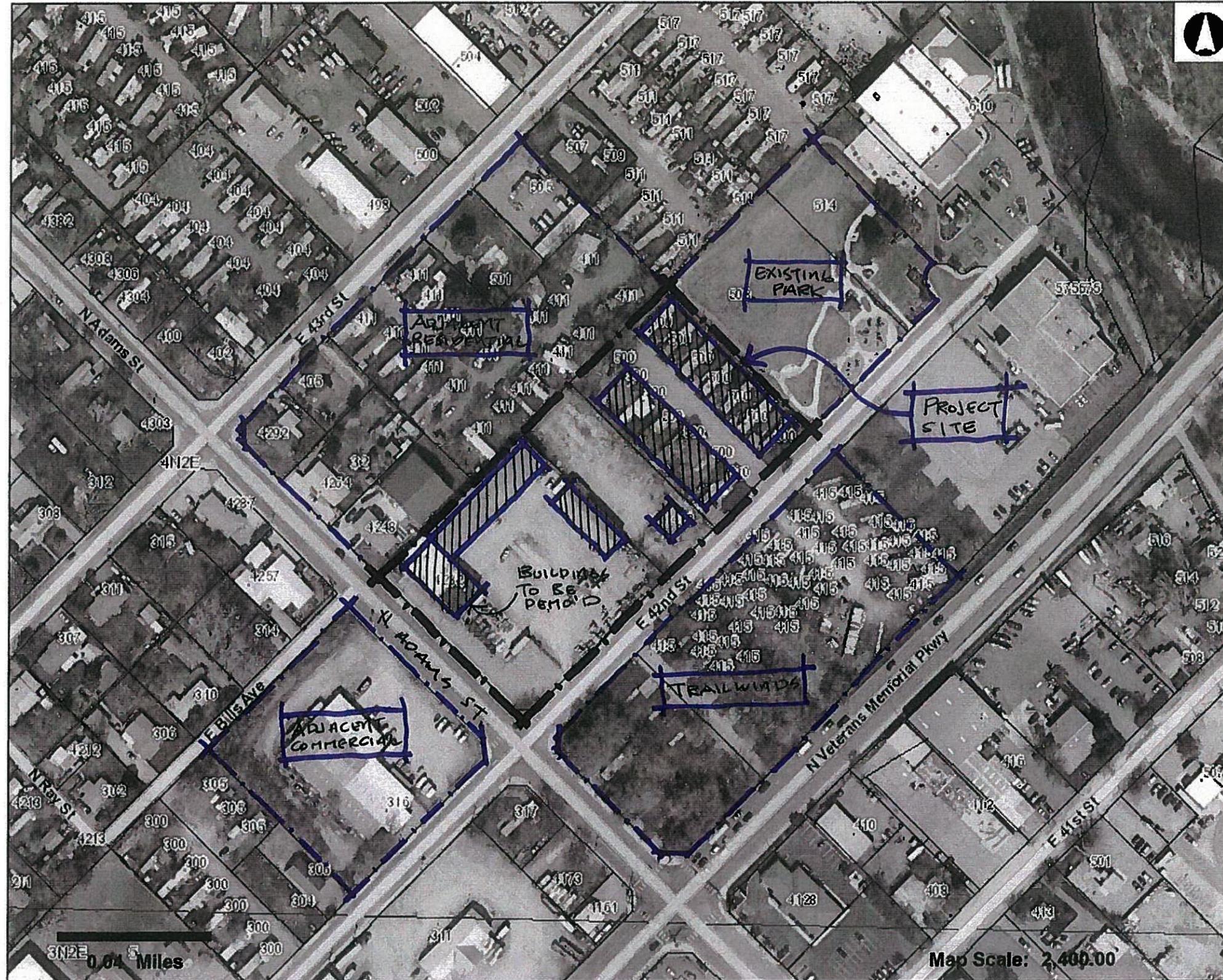


A SITE PLAN
 Scale: 1" = 20'-0"

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Ada County Assessor

This map is a user generated static output from an Internet mapping site and is for general reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable. THIS MAP IS NOT TO BE USED FOR NAVIGATION OR LEGAL PURPOSES.



Legend

- + Railroad
- Roads (2,000 - 4,000 s)
 - <all other values>
 - Interstate
 - Ramp
 - Principal Arterial
 - Collector
 - Minor Arterial
 - Local
 - Parks
 - Alley
 - Driveway
- Parks
- Address
- Townships
- Sections
- Condos
- Parcels

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NEIGHBORHOOD MAP - PARKWAY STATION.

1/4/2016

LICENSED ARCHITECT AR-1577
 ROBERT G. SMITH
 STATE OF OREGON



1 FRONT ELEVATION - COTTAGE
 Scale: 1/4" = 1'-0"



2 SIDE ELEVATION - COTTAGE
 Scale: 1/4" = 1'-0"

HSA
 HUTCHISON
 SMITH
 ARCHITECTS
 270 North 27th St. Boise, Idaho 83702
 (208) 338-1212 Fax: (208) 338-0011

PROJECT: 15182
 FILE: 15182A3.0
 DATE: JAN 2016
 DRAWN:
 REVISIONS:

MIXED USE RESIDENTIAL
 PARKWAY STATION
 E. 42nd. ST
 GARDEN CITY, ID.
 EXTERIOR ELEVATIONS - COTTAGE

SHEET NO.
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LICENSED ARCHITECT
AR-1577
ROBERT L. SMITH
STATE OF IOWA

HSM HUTCHISON SMITH ARCHITECTS
270 North 27th St. Ames, Iowa 50010
(515) 281-1212 fax (515) 281-0011

PROJECT: 15182
FILE: 15182A30
DATE: JAN 2016
DRAWN:
REVISIONS:

MIXED USE RESIDENTIAL
PARKWAY STATION
E. 42nd. ST
GARDEN CITY, ID.
EXTERIOR ELEVATIONS - TOWNHOUSE

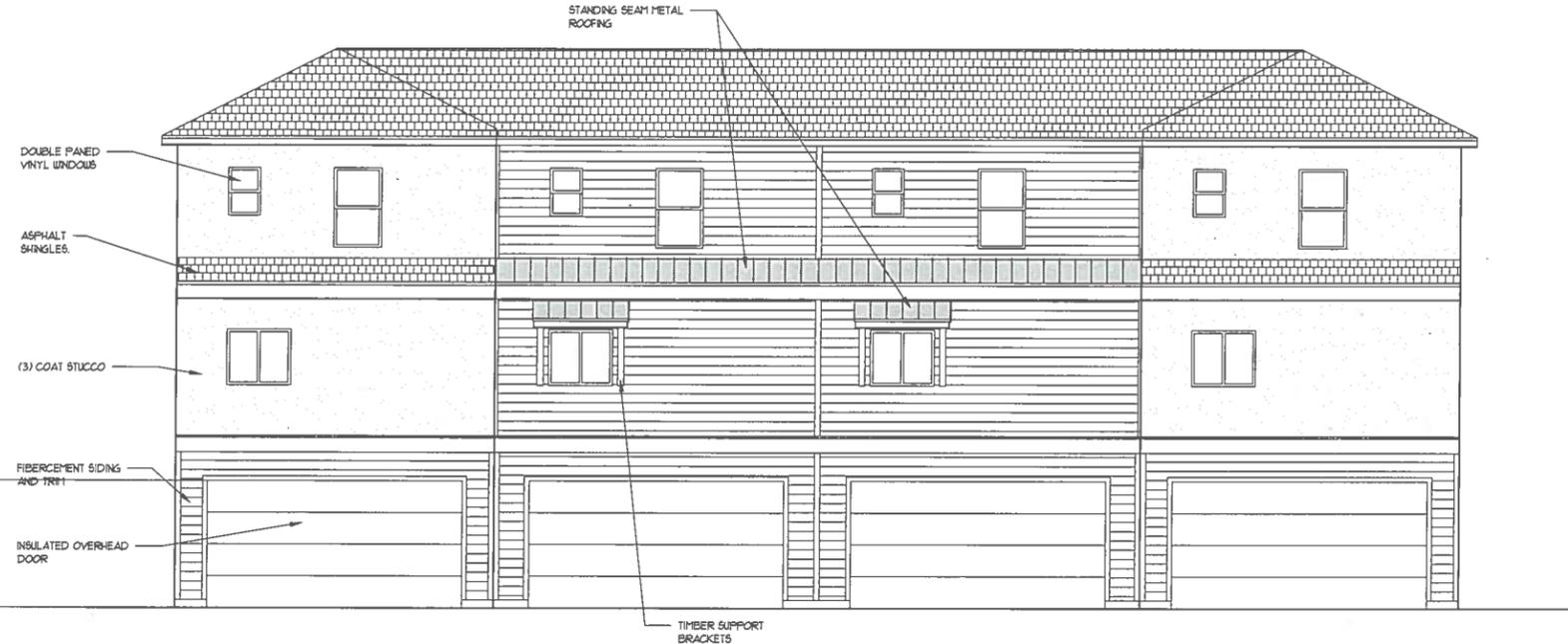
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1 ALTERNATE FRONT ELEVATION - 4 TOWNHOUSES
Scale: 3/16" = 1'-0"

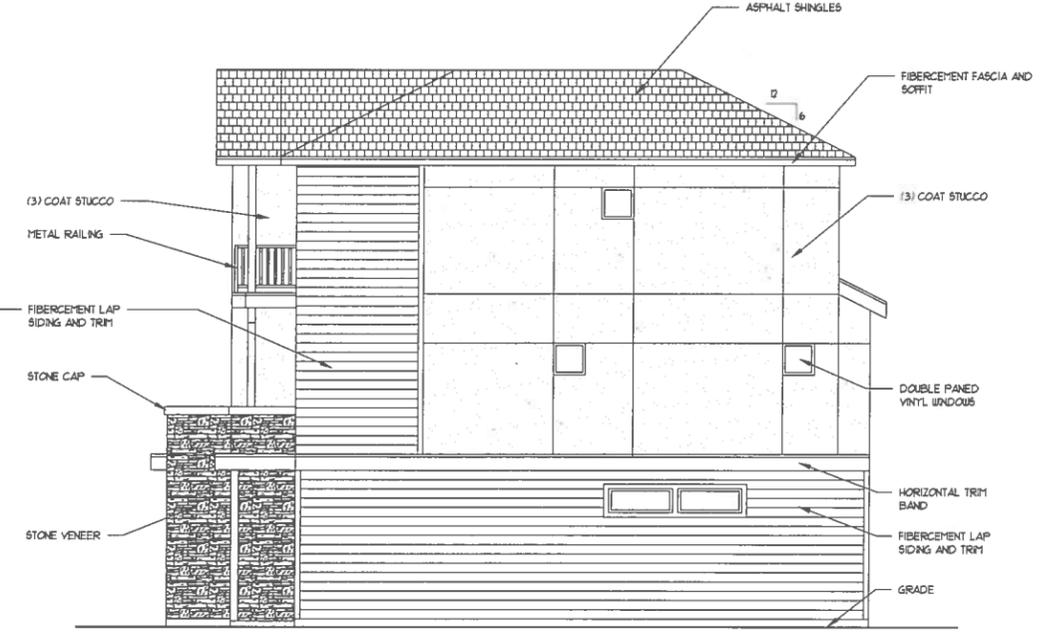
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1 REAR ELEVATION - 4 TOWNHOUSES
Scale: 3/16" = 1'-0"

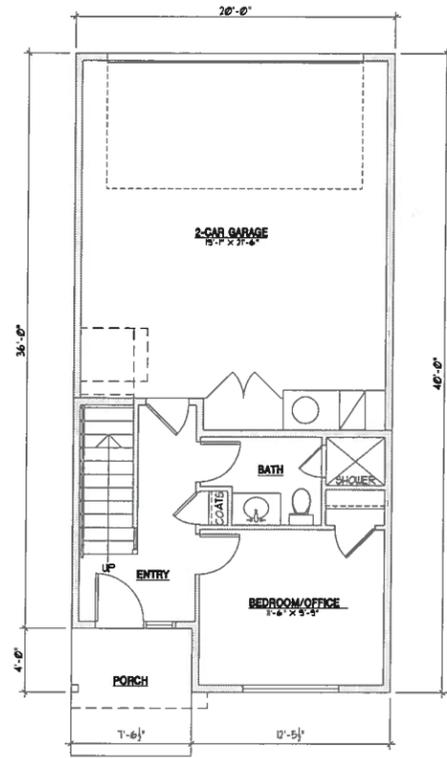


2 FRONT ELEVATION - 4 TOWNHOUSES
Scale: 3/16" = 1'-0"

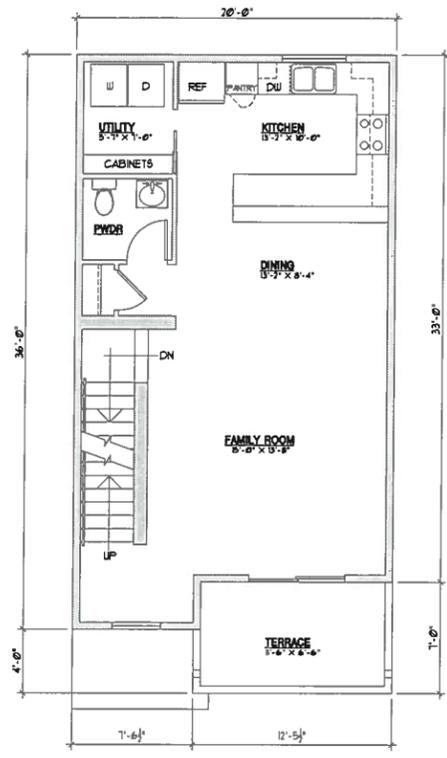


3 SIDE ELEVATION
Scale: 3/16" = 1'-0"

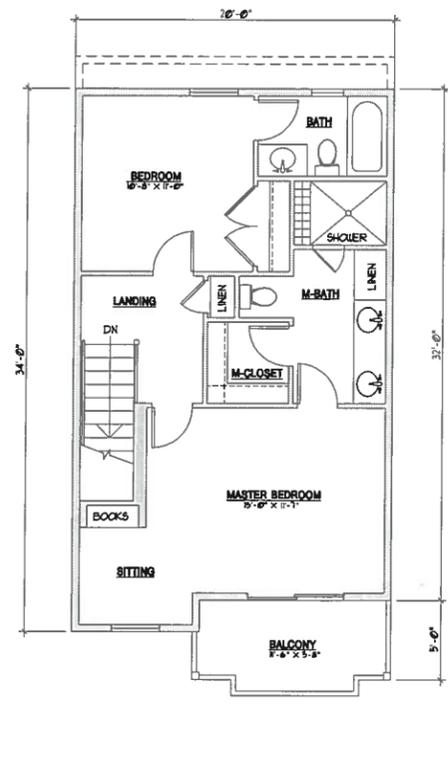
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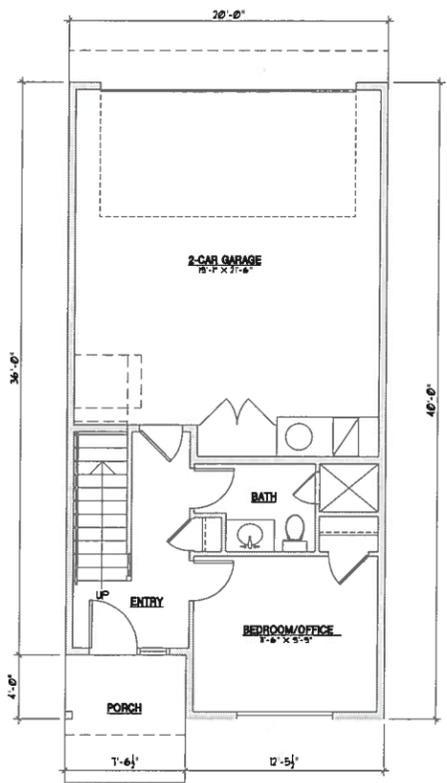
1 MAIN FLOOR PLAN - OPTION A
 Scale: 3/16" = 1'-0"
 LIVING AREA - 375 SF.
 GARAGE AREA - 454 SF.
 TOTAL LIVING AREA - 1009 SF.



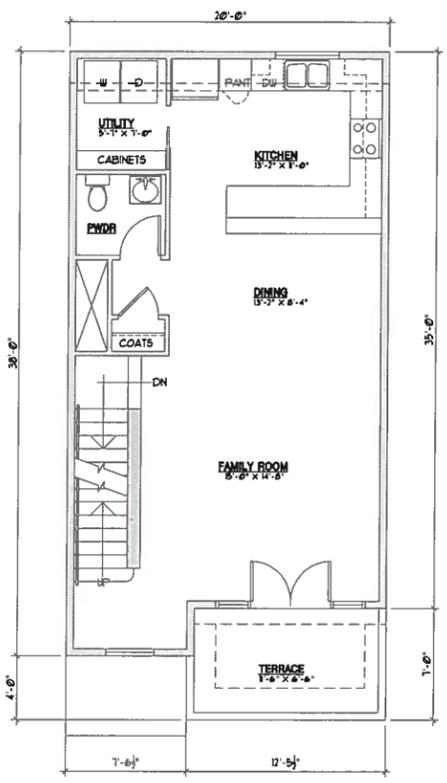
2 SECOND FLOOR PLAN - OPTION A
 Scale: 3/16" = 1'-0"
 LIVING AREA - 661 SF.



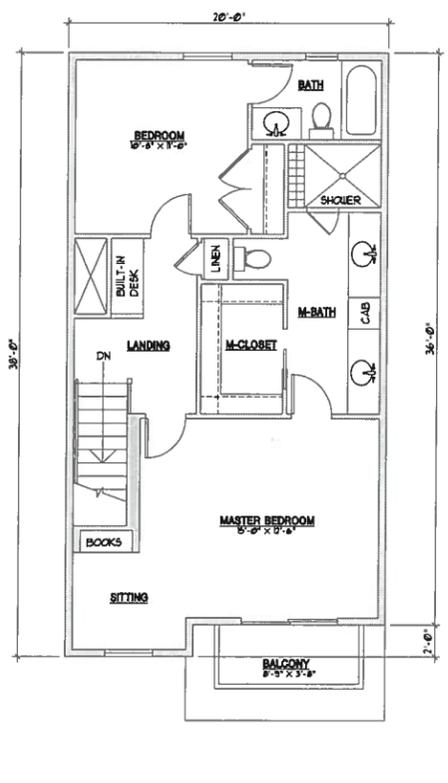
3 THIRD FLOOR PLAN - OPTION A
 Scale: 3/16" = 1'-0"
 LIVING AREA - 823 SF.



4 MAIN FLOOR PLAN - OPTION B
 Scale: 3/16" = 1'-0"
 LIVING AREA - 375 SF.
 GARAGE AREA - 454 SF.
 TOTAL LIVING AREA - 1712 SF.

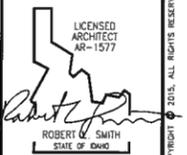


5 SECOND FLOOR PLAN - OPTION B
 Scale: 3/16" = 1'-0"
 LIVING AREA - 691 SF.



6 THIRD FLOOR PLAN - OPTION B
 Scale: 3/16" = 1'-0"
 LIVING AREA - 706 SF.

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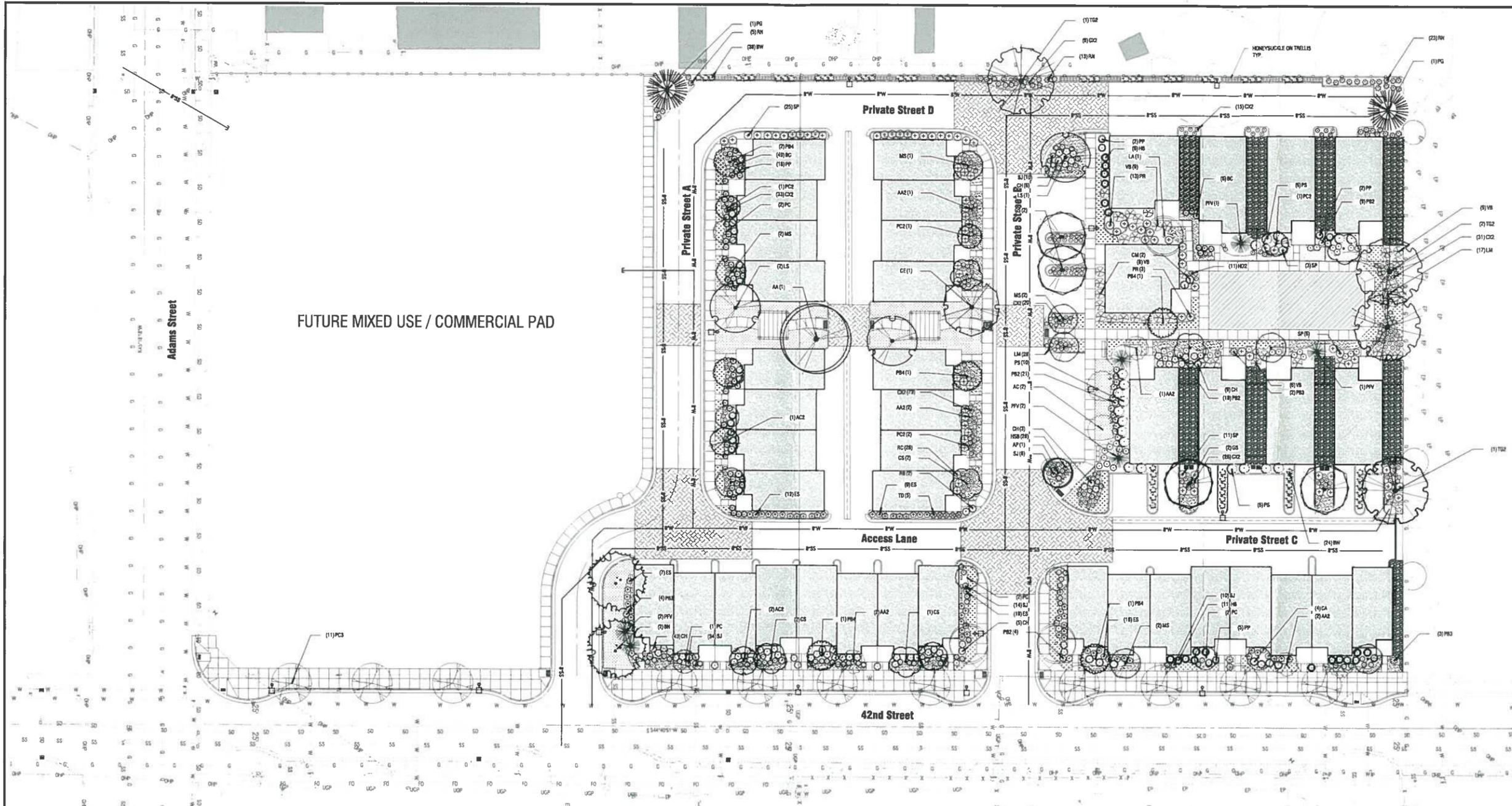
HUTCHISON SMITH ARCHITECTS
 HSA
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MIXED USE RESIDENTIAL
 PARKWAY STATION
 E 42nd ST
 GARDEN CITY, ID.
FLOOR PLANS - TOWNHOUSE

SHEET NO.
A2.0

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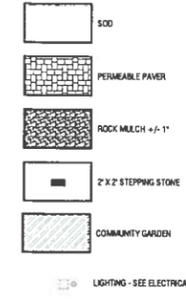


Landscape Plan
 HORIZONTAL SCALE: 1" = 20'

PLANT SCHEDULE				
TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
AA	ACER RUBRUM / AUTUMN FLAME / AUTUMN FLAME MAPLE	8 @ 8	2"	8'-10"
AA2	ACER PALMATUM / ATROPURPUREUM BURGUNDY LACE / RED JAPANESE MAPLE	8 @ 8	2"	8'-4"
AC2	ACER PALMATUM 'VINO' / GREEN CUTLEAF JAPANESE MAPLE	8 @ 8	2"	8'-4"
AP	ACER TATIANUM 'PATRIELL' / PATRIEN PERFECT MAPLE	8 @ 8	2"	8'-4"
BN	BETULA NIGRA / RIVER BIRCH MULTI-TRUNK	8 @ 8	2"	8'-4"
CE	CARPINUS BETULUS / EUROPEAN HORSEBEECH	8 @ 8	2"	8'-4"
GS	GLEDITSIA TRIACANTOS 'SKYLINE' / SKYLINE HONEY LOCUST	8 @ 8	2"	8'-4"
LA	LIQUIDAMBAR STYRACIFLUA 'ANNOLD' / ANNOLD TULIP POPLAR	8 @ 8	2"	8'-4"
LS	LIQUIDAMBAR STYRACIFLUA / AMERICAN SWEET GUM	8 @ 8	2"	8'-4"
TS2	TILIA CORDATA 'GREENSPICE' / GREENSPICE LITTLELEAF LINDEN	8 @ 8	2"	8'-4"
EVERGREEN TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
PFV	PIRUS FLOIDUS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE	8 @ 8	2"	8'-10"
PO	PIRUS PARSONSII 'GLAUCA' / COLORADO BLUE SPRUCE	8 @ 8	2"	8'-4"
FLOWERING TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
AC	AMELANCHIER CANADENSIS / CANADIAN SERVICEBERRY	8 @ 8	2"	8'-4"
CS	CORNUS KOUSA 'SILVERBELL' / SILVERBELL KOUSA DOGWOOD	8 @ 8	2"	8'-4"
MS	MALUS X 'SPRING SHADOW' / SPRING SHADOW CRAB APPLE	8 @ 8	2"	8'-4"
PS4	PRUNUS X BUREJANICA / PINK FLOWERING PLUM	8 @ 8	2"	8'-4"
PC	PRUNUS SARGENTII 'CHARMICKLEEN' / CHARMICKLEEN PEAR	8 @ 8	2"	8'-4"
PC2	PRUNUS SARGENTII 'COLUMBIANS' / COLUMBIAN SARGENT CHERRY	8 @ 8	2"	8'-4"
PC3	PRUNUS SARGENTII 'ORNAMENTAL PEAR	8 @ 8	2"	8'-4"
SHRUBS	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE
BC	BERBERIS THUNBERGII 'CRIMSON PYRAM' / CRIMSON PYRAM BERBERIS	3 GAL		
BW	BULGUS MICROPHYLLA 'WRITER GEM' / GLOBE WRITER GEM BOWWOOD	5 GAL		
CA	CORNUS SERICEA 'ALLEGRA'S COMPACT' / DWARF RED TWIG DOGWOOD	5 GAL		

CH	CORNUS ALBA 'BALHALD' TM / WARY HALD DOGWOOD	5 GAL		
CM	CHAMAECYPARIS PISIFERA 'GOLDEN MOPPS' / GOLDEN MOPPS SAHARA FALSE CYPRESS	3 GAL		
CC2	CALAMAGROSTIS X ACUTIFLORA 'KARL FOENSTER' / FEATHER REED GRASS	1 GAL		
ES	EUMYRIUS JAPONICUS 'SILVER KING' / SILVER KING EUMYRIUS	3 GAL		
HB	HYDRANGEA PANDOLATA 'BULX' / PANDOL HYDRANGEA	5 GAL		
HCB	HEMERICALLIS X 'STELLA DE ORD' / STELLA DE ORD DAYLILY	1 GAL		
HCB	HEMERICALLIS X 'STELLA DE ORD' / STELLA DE ORD DAYLILY	1 GAL		
LM	LAVANDULA ANGUSTIFOLIA 'HURSTWOOD' / HURSTWOOD ENGLISH LAVENDER	1 GAL		
PR2	PRUNUS STROBUS 'BLUE SHAG' / BLUE SHAG WHITE PINE	3 GAL		
PP	PRUNUS MUGO 'MUGO' / MUGO PINE	1 GAL		
PR	POTENTILLA FRUTICOSA 'RED ACE' TM / RED ACE POTENTILLA	3 GAL		
PS	PHYSCOCARPUS OPULEFOLIS 'SEWARD' / SEWARD KNEEMARK	3 GAL		
RB	ROSA X 'RADWOOD' / BUSHING KNOCKOUT ROSE	3 GAL		
RC	RHAMNUS FRANGULA 'COLUMBIANS' / ALDER BUCKTHORN	3 GAL		
RM	ROSA X 'INDIA' / FLOWER CARPET CORAL GROUNDCOVER ROSE	2 GAL		
SJ	SPIRAEA JAPONICA / JAPANESE SPIREA	2 GAL		
SP	SALIX PURPUREA 'NANA' / DWARF ARCTIC WILLOW	5 GAL		
TD	TAXUS X MEDIA 'DENSIFORMIS' / DENSE YEW	5 GAL		
VB	VIBURNUM TRELOBIUM 'BAILEY COMPACT' / BAILEY'S COMPACT AMERICAN CRANBERRY BUSH	5 GAL		
GROUND COVERS	BOTANICAL NAME / COMMON NAME	CONT	FELO2	SPACING
	FACHYSANDRA PROOCAMENSIS / ALLEGHENY SPURGE	5 GAL		12" o.c.
	VINCA MINOR 'ALBA' / WHITE DWARF PERIWINKLE	5 GAL		12" o.c.
CLIMBING PLANTS	BOTANICAL NAME / COMMON NAME	CONT	FELO2	SPACING
	LONICERA PERICLYMENUM / HONEYSUCKLE	5 GAL		60" o.c.

Materials Legend



Landscape Notes

- CANALS, CREEKS, DRAINS, PONDS, WETLANDS, FLOODPLAINS, HIGH GROUNDWATER AREAS, OR ROCK OUTCROPPINGS EXIST ON THIS SITE.
- CONTRACTOR SHALL REPORT TO LANDSCAPE ARCHITECT ALL CONDITIONS WHICH IMPAIR AND/OR PREVENT THE PROPER EXECUTION OF THIS WORK, PRIOR TO BEGINNING WORK.
- ALL PLANTING BEDS SHALL BE COVERED WITH A MINIMUM OF 2" SHREDDED BARK MULCH. SUBMIT FOR APPROVAL.
- ALL PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BEGINNING AT THE DATE OF ACCEPTANCE BY OWNER. REPLACE ALL PLANT MATERIAL FOUND DEAD OR NOT IN A HEALTHY CONDITION IMMEDIATELY. REPLACE WITH THE SAME SIZE AND SPECIES AT NO COST TO THE OWNER. FRESH GRASSES TO BE SOWN AND EVEN GRADENETS WITH POSITIVE DRAINAGE IN ACCORDANCE WITH SITE GRADING PLAN.
- IN ALL PLANTER BEDS AND LAWN AREAS, THE TOP INCHES OF TOPSOIL WILL BE AMENDED AT A RATIO OF 1 CUBIC YARD OF COMPOST ORGANIC MATTER PER 1000 SQUARE FEET. ROTO-TILL ORGANIC MATTER A MINIMUM OF 8 INCHES INTO TOPSOIL.
- STOCKPILE EXISTING TOPSOIL FOR REUSE IN LANDSCAPE AREAS. VERIFY SUITABILITY OF SURFACE SOIL TO PRODUCE TOPSOIL MEETING REQUIREMENTS AND AMEND WHEN NECESSARY. TOPSOIL SHALL BE A LOOSE, FRAGILE, SANDY LOAM, CLEAN AND FREE OF TOXIC MATERIALS, NOXIOUS WEEDS, WEED SEEDS, ROCKS, GRASS OR OTHER FOREIGN MATERIAL AND A PH OF 5.3 TO 7.0. IF IMPORTED TOPSOIL FROM OFF-SITE SOURCES IS REQUIRED, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRAGILE, NATURAL, LAWN SURFACE SOIL, REASONABLY FREE OF SUBSOL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2 INCHES IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH.
- IF ADDITIONAL TOPSOIL IS NEEDED OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT PROJECT SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES.
- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC BACKGROUND SPRINKLER SYSTEM WHICH ENSURES COMPLETE COVERAGE AND PROPERLY ZONED FOR REQUIRED WATER USES. SEE IRRIGATION PLANS.
- TREE SPACING SHOULD FOLLOW THE LANDSCAPE PLAN AND SHOULD COMPLY WITH NOTES 11, 12, AND 13.
- NO TREE SHALL BE PLANTED CLOSER THAN 50' IN FRONT OF A STOP SIGN.
- NO TREE SHALL BE PLANTED CLOSER THAN 10' TO A STOPWATER DRAIN OR PIPE.
- NO TREE SHALL BE PLANTED CLOSER THAN 2' TO A SEWER SERVICE LINE.
- FOR TREE AND SHRUB PLANTING SPECS. SEE SHEET L1-01.

Tree Protection Notes

- PROTECT THE CRITICAL ROOT ZONE OF THE TREES TO BE RETAINED ON SITE. (NOTE: CRITICAL ROOT ZONE IS THE AREA BRITLY BELOW THE CIRCUMFERENCE OF THE TREE.)
 - CONSTRUCT PROTECTIVE FENCING AROUND THE CRITICAL ROOT ZONE PRIOR TO DEMOLITION OR CONSTRUCTION.
 - DO NOT ALLOW COMPACTION OF EQUIPMENT TRAFFIC DURING CONSTRUCTION OR DURING DEMOLITION.
 - DO NOT ALLOW ELEMENT TRUCKS TO POND WITHIN THE PROTECTION AREA, ANYWHERE THAT TREE ROOTS EXIST OR IN PLANNED PLANTING BEDS.
 - DO NOT STOCKPILE MATERIALS, DEBRIS OR DIRT WITHIN THE TREE PROTECTION AREA.
 - MAINTAIN WATERING WITHIN THE CRITICAL ROOT ZONE FROM MID-APRIL TO MID-OCTOBER AT THE RATE OF NOT LESS THAN THE EQUIVALENT OF 1" OF WATER OVER THE ENTIRE AREA PER WEEK.
 - DO NOT TRENCH, DIG, OR OTHERWISE DISTURB THE SOIL WITHIN THE CRITICAL ROOT ZONE.
 - ADJUST PROPOSED IMPROVEMENT LOCATIONS AS REQUIRED TO AVOID DAMAGING TREE ROOTS.
- PROTECT THE CROWN AND TRUNK OF TREES TO BE RETAINED ON SITE.
 - OPERATE EQUIPMENT IN SUCH A WAY AS TO AVOID CONTACT WITH TREE TRUNKS OR BRANCHES.
 - PRUNING OF TREES SHALL BE PERFORMED BY A LICENSED ARBORIST.

Parkway Station
E 42nd Street

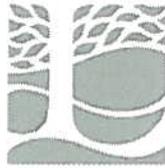
Preliminary Plat
Landscape Plan

Idaho
Garden City

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 www.thelandgroup.com

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 JAN 21 2016

Printed on: 1/13/16
 Date of Issuance: 01/21/16
 Designed by: CS
 Checked by: DMS
 Sheet No: **PP-04**



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JAN 21 2016

THE LAND GROUP, INC.

January 14, 2016

Mr. Jimmy O'Connor
Hutchinson Smith Architects
270 N 27th Street
Boise, Idaho 83702

Re: Parkway Station Tree Assessment

Dear Jimmy,

I reviewed the existing trees on the Parkway Station site. By my count there are eighteen (18) trees on the project site of varying condition and species. The following breakdown provides an inventory of types, sizes and health condition:

1. **(1) 12" diameter Sweetgum-** This tree appears to have been heavily pruned over the years due to its close proximity to the existing building. Demolition of this existing building and its foundation will have a negative impact on the tree. It is unknown what effect the design of phase 2 may have on this tree; however, it is likely that future construction will have a negative impact within the trees dripline.
2. **(3) 12" diameter Maples-** These trees are located very close to the existing building and appear to have been heavily pruned over the years due to their close proximity to the existing building. Demolition of this existing building and its foundation will most likely have a negative impact on these trees. It is unknown what effect the design of phase 2 may have on these tree; however, it is likely that future construction will have a negative impact within their dripline.
3. **(2) 10" diameter Crabapples-** These trees are located on the corner of Adams and 42nd Streets. A future entry plaza is planned in this location under future phases. Potentially, these trees could be planned around; however, I am concerned that heavy construction in this area will cause damage and compromise the health of the trees going forward as work will have to occur within the dripline.
4. **(1) 18" and (1) 24" diameter Black Locusts-** These trees are of poor health and pose a safety hazard.
5. **(1) 18" diameter Scotch Pine-** This tree appears to be in moderate health. The canopy is not as full as a typically healthy Scotch pine might be. It is in conflict with the required right of way improvements.
6. **(1) 18" diameter Douglas Fir-** This tree is healthy; however, it is located adjacent to 42nd street underneath the future footprint of a proposed townhome.
7. **(1) 18" diameter Catalpa-** This tree is in fair shape; however, a catalpa is a soft wooded tree that is very messy and does pose safety hazards due to its soft wood. It is located underneath the future footprint of a proposed townhome.

8. **(1) 18" diameter Elm-** This tree is in poor condition and is of the elm species which is highly susceptible to Dutch Elms Disease.
9. **(1) 30' diameter Weeping Willow-** This tree is in fair shape; however, a weeping willow is a soft wooded tree that is very messy and does pose safety hazards due to its soft wood and falling debris. It is located immediately adjacent to the proposed parking lot and the future footprint of a proposed home. Construction will definitely occur well into the drip line of the tree.
10. **(1) 30" diameter Elm-** This tree is in poor condition and is of the elm species which is highly susceptible to Dutch Elms Disease.
11. **(1) 12" diameter Austrian Pine-** This tree is in good condition but relatively small in stature. Construction within the drip will be necessary.
12. **(1) 40" diameter Cottonwood-** This is a very large tree and appears to be in good condition; however, a cottonwood is a soft wooded tree that is very messy and does pose safety hazards due to its soft wood; especially when they are older and larger in size. It is located underneath the future footprint of the proposed sidewalk and parking lot.
13. **(1) 18" diameter Austrian Pine-** This tree is in good condition. Construction within the drip will be necessary as it is immediately adjacent to a proposed home.
14. **(1) 12" diameter Elm-** This tree is in poor condition and is of the elm species which is highly susceptible to Dutch Elms Disease.

The proposed design will require disturbance to approximately 100% of the site and therefore will require all existing trees to be removed. As described above, Most of the trees on site are in fair to poor condition. The few trees that are of good health and form are in locations that do not work with the proposed site design. The proposed landscape design submitted with the preliminary plat proposes over 70 class 1 and 2 trees, creating a quality canopy for the project through the utilization of hearty and decorative species that will stand the test of time much better than the species currently on site.

Please let me know if you have any questions.

Kind regards,



Doug Russell, PLA
The Land Group