

# Development Services Staff Report for Design Review Committee

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**To:** Design Review Committee  
**From:** Jeff Lowe, Planner  
**Subject:** DSRFY2016-3 – WestVet Clinic Signage  
**Date:** January 27, 2016

**Summary:** WestVet Clinic, represented by Leslie Brown with Golden West Advertising, is proposing a Master Sign Plan for a previously approved Animal Care Facility. The project is located on the northwest corner of the intersection of Chinden Boulevard and 50th Street at 5000 Chinden Boulevard and 5024 and 5019 Sawyer Avenue.

## **Background:**

On February 18, 2015, the Planning and Zoning Commission approved PUD2015-00001, a Planned Unit Development for a three lot development at the subject site.

On March 23, 2015, the City Council approved PUD2015-00001.

On February 2, 2015, the Design Review Committee recommended approval of PUD2015-00001.

## **Analysis:**

### **Relevant Code Sections:**

GCC 8-4F-2 H. DIRECTIONAL SIGN: A sign intended to provide directions for pedestrian or vehicular traffic.

GCC 8-4F-2 AA. MONUMENT SIGN: A sign mounted on a foundation at ground level and with no structural break between the foundation and the signage area.

### GCC 8-4F-12 C. Directional Signs

1. Directional signs may be on premise or off premise.
2. There may be no more than one (1) directional sign for every three hundred (300) lineal feet of travel in the same direction.
3. Signs shall not be placed in the right of way.
4. Directional signs shall not exceed eight (8) square feet.
5. Directional signs shall be located within three thousand feet (3000') of the business or service that the sign is distinguishing.
6. Directional signs shall not be illuminated.

GCC 8-4F-12 H 1 Location Standard: Wall signs shall be placed on an exterior wall visible from or fronting on a street, thoroughfare, or common parking area associated with a clear public entrance.

### GCC 8-4F-12 D. Freestanding and Monument Signs

1. Freestanding and monument signs should not hamper or interfere with pedestrian access, bike or transit facilities.

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2. Freestanding and monument signs shall comply with and reflect all adopted streetscape standards.
3. Freestanding and monument signs shall not be located in a manner so as to block the visibility of adjacent signs.
4. Pole covers are required.
5. Maximum Number:
  - a. One freestanding or monument sign for every one hundred (100) linear feet of public street frontage or thirty thousand (30,000) square feet of parcel area up to a maximum of three (3) freestanding and or monument signs per parcel.
  - b. One sign for parcels with less than one hundred (100) linear feet of public street frontage or thirty thousand (30,000) square feet of parcel area.
  - c. For parcels located on a corner, the calculation of linear feet shall be based on one-hundred percent (100%) of the linear feet on the principle public street and fifty percent (50%) of the linear feet on the secondary public street.
  - d. Only one (1) freestanding or monument sign shall be allowed per business per frontage, unless otherwise approved by the Garden City Design Review Committee.

## **Discussion:**

Previously (as noted above under history), the applicant (WestVet Clinic) submitted an application for a Planned Unit Development (PUD) to expand the current Animal Care Facility (WestVet Clinic), which was subsequently approved.

The PUD process was utilized to:

- To provide for a harmonious arrangement of buildings, open spaces, and design amenities
- To create a cohesive development by combining parcels
- To address shared parking and access
- To develop site improvements in a coordinated manner
- **To create opportunities to develop a Master Sign Plan**

The objective was to review the single parcels as a unified land development rather than reviewing the parcels in a “piecemeal” fashion wherein adjoining land uses may not function together effectively. Each of the above elements work together to enhance the whole (big picture) and the ability to design each of these simultaneously is an effective method to better reach the City’s objectives as noted in the Comprehensive Plan.

One concern of the applicant was the ability to use an existing sign (non-compliant relative to size) located on the frontage of Chinden (the parcel was separate from the WestVet development and utilized for Vehicle Sales). WestVet wanted to be able to use the sign to advertise for the Clinic but the sign was off-premise, and thus could not be used by WestVet. However, by recognizing the subject parcels as one development, a multi-tenant sign could then be incorporated into the site, thereby allowing some visibility for the Clinic located in the “middle and rear” of the development. No concessions were made relative to the size of a new sign and the applicant was required to submit an application for a Master Sign Plan (MSP) to be reviewed and approved by the Design Review Committee pursuant to Garden City Code 8-4F-13. The MSP is to address any proposed monument or wall signs (or other signs as defined in Garden City Code) for the development.

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Previous signage



- The applicant’s representative has submitted a document listing the criteria for the design, display, and protocol for signage within the development (see attached).

In general, staff concurs with the applicant’s proposed criteria, and lists the following concern:

Item C. 2 states *“Each individual tenant in “future building”...shall be permitted 1 wall sign per elevation with street frontage...”*

Garden City Code 8-4F 12 H 1 requires that wall signs may only be located on a wall visible from or fronting on a street, thoroughfare or common parking area associated with a clear public entrance for the subject business. While this may be the default position for some of the buildings (entrance and parking/road together on same elevation), both existing and new buildings may not have any entrance facing onto parking area or roadway. To wit, the pad site adjacent to Chinden will face a corner, and thus two roadways, and a building might not have an entrance located on one of the elevations. Additionally, the existing clinic does not appear to have a public entrance facing 50<sup>th</sup> Street.

- Garden City Code 8-4F-13 states the Master Sign Program “is to encourage the integration of signs into the site and building design” with “the intent is to allow flexibility in the criteria ... and promote improved quality of design”. Further, “Signs that exceed the standards ... shall demonstrate superior quality, creativity, or artistry and integration with the buildings and site.” Thus, the Design Review Committee may determine that deviation from the code is appropriate

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if the sign is considered to meet the criteria above. The sign will need to be located outside of the vision triangle at the intersection of Chinden and 50<sup>th</sup> Street.

The following are deficiencies in the proposed signs:

Garden City Code allows for a freestanding/monument sign to have a sign area up to 50-square feet; the applicant is proposing 60SF. There are two code references to consider – the provision to allow deviation in signs that demonstrate superior quality, creativity etc.; and for multi-tenant signs visible from a roadway with a posted speed limit of 35MPH or more, the maximum size of the sign may be increased to allow each business space for a display. The lettering is required to be 4-inches tall or greater and there is no prescribed limit as to how much more a sign may be increased. Staff will defer to the Committee to determine the appropriate size.

The proposed wall sign for the “future building” (middle) is greater than 120SF; Garden City Code allows up to 60SF for a channel letter sign (90SF if distinctive). Further, the sign does not comply with the criteria proposed in the applicant’s MSP requirements (Item C.2. allows 60SF and 90SF for distinctive). Staff recommends that the proposed wall sign be dimensioned to comply with Garden City Code and proposed MSP requirements.

The applicant is proposing a directional sign to be located at the development’s access on 50<sup>th</sup> Street. The sign meets all Code requirements except that it is shown to be internally illuminated which is not permitted for directional signs. Staff recommends that the proposed directional sign be redesigned to exclude illumination to comply with Garden City Code.

## Attachments:

- Applicant’s letter of intent
- Master Sign Plan Criteria
- Sign renderings
- Signage location map
- Landscape plan

# West Vet Design Review Application

## Executive Summary

Established 30 years ago, WestVet provides the highest quality veterinary emergency and specialty care to pets and their families in the Treasure Valley. WestVet is the only facility to offer specialty animal care services in the state of Idaho and surrounding region.

WestVet is Idaho's only 24 hour Animal Emergency Hospital and Specialty Center. WestVet received certification as a [Level 1 Veterinary Emergency and Critical Care Society](#) and remains Idaho's only VECCS Certified Level 1, an esteemed achievement shared with only 17 other locations in the United States of America.

## Statement of Compliance & Intent

The West Vet development is a multi-building development located on the corner of Chinden Blvd and East 50<sup>th</sup> St., whereas West Vet is the anchor tenant plus a future tenant building. This development is located in Sign Design District 6, which states, "SD6 provides for signage that focuses on advertising to automobile traffic on the arterial roadways while fusing the Comprehensive Plan's Goals of improving the City's Image through Design Standards." <sup>i</sup>

This project is improving and upgrading the City's Image with by removing the existing sign and replacing and upgrading to a sign with push through dimensional faces and architectural elements taken from the building design (see below). The motivation behind the design was to, "Ensure that [the sign] contributes to improve the city's visual character [and image] by helping create and support a more attractive...business atmosphere". <sup>ii</sup> *Garden City Ordinance 927-10 Section 8-4F-1A1&2*

Previous Sign



Proposed Sign Design



The West Vet and Master Sign Plan also “recognize that signs are a visual means of limited advertising and location identification for the convenience of the public” <sup>iii</sup> *Garden City Ordinance 927-10 Section 8-4F-1A4* which is apparent when reviewing the design of the pylon by noticing the lack of request for Electronic Message Center (EMC) and addition of the VECCS Certified Level 1 logo shown below.



Additionally, West Vet is an emergency care provider for animals, which creates serious public health and safety issues which need to be addressed. With respect to Garden City Ordinance 927-10 Section 8-4F-1A-3, careful care and consideration to ensure public health and safety, the issue of distraught drivers in emergency situations the owner saw the need for specific signage to address these specific issues:

- 1) Clearly Mark and Identify the emergency location and entrance
- 2) Specify the emergency services are for “Animals” and not “Humans”

Addressing these issues are eminent to public safety when considering the effects of an error bring a person in need of emergency services to an incorrect location, learning it is for animal emergency services, and clearly marking the building for safe arrival to the animal emergency service. This is address with sign designs attached and labeled C, D4, E1, & F.

#### **How do the signs incorporate into the development?**

The signage takes different elements from the building to create a cohesive and consistent design throughout the projects. Sign D4 utilizes the same arch design and materials as the parapet on the building, and the pole cover is designed to reflect the architecture of the columns of the building. Sign D4 also uses the same color and sizing to be consistent with the wall sign A2 to create a cohesiveness feeling throughout the development.

#### **What “green building” concepts are incorporated into the project?**

The signage utilizes the same building materials as the building, creating an consistent upscale design. The signage utilizes LED lighting, instead of Neon, which is more “green”. As well as high quality materials that create a nice look with longevity.

#### **How does the proposed project create a sense of place?**

West Vet and its future tenant building is an addition to Garden City that enhances the image of the city through its building and signage designs. The owner wanted to add an element of art to the building in efforts to take the building and design one step further to enhance the public space with the logo wall art, design B.

**How does the proposed design adhere to standards for the protection of health, safety, and general welfare?**

With respect to comments mentioned above, taking into consideration the nature and state of mind of emergency issue, and using signage to clearly and specifically mark the emergency location and by specifying it is an animal emergency center. Additionally, directional signage is used to minimize on-site confusion or incorrect turns from patrons arriving on site in emergency situations.

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<sup>i</sup> Garden City Ordinance 927-10 Section 8-4F-7F

<sup>ii</sup> Garden City Ordinance 927-10 Section 8-4F-1A1&2

<sup>iii</sup> Garden City Ordinance 927-10 Section 8-4F-1A4

**West Vet Master Sign Plan**  
**50<sup>th</sup> & Chinden, Garden City, ID**

**A. GENERAL PURPOSE**

This criterion has been established for the mutual benefit for all tenants. Conformance will be strictly enforced and any non-conforming or unapproved signs must be removed or brought into conformance at the expense of the tenant.

The advertising or informative content of all signs shall include letters designating the business name and/or type of business. Crest and corporate shield/logo designs must be submitted to Owner for approval.

**B. GENERAL REQUIREMENTS**

1. No exterior sign shall be permitted without the prior written consent of the Owner.
2. Tenant shall submit to the Owner for approval, before fabrication a color copy of detailed drawings indicating the location, size, layout, design and color of the Tenant's proposed sign, including all lettering and/or graphics. Signs may not be placed in final position without written approval of the Owner. This includes all exterior signs, including tenant panels on freestanding sign.
3. All government permits for tenant's sign(s) shall be obtained by the tenant.
4. Installation of the tenant's sign shall be in strict compliance with all building and electrical codes.
5. All signs shall be constructed, installed, and maintained at the Tenant's expense.

**C. NUMBER AND LOCATION OF SIGNS**

1. The development signage will consist of one double-face, multi-tenant sign (see D4 attached) and directional signs (see F attached)
2. Each individual tenant in "future building" (per attached site plan) shall be permitted 1 wall sign per elevation with street frontage per written approval by the Owner. These signs are allowed 60 sq. ft. with allowances up to 90 sq. ft. for distinctive materials/design sign.
3. Anchor Tenant in "proposed building" (per attached site plan) is allowed signage on south and east elevations (see A2, B, C & E1 attached) for business identification and emergency identification, specifically "animal emergency" clarification.
4. Signs may not be placed on rooftops.

**D. DESIGN AND SIZE REQUIREMENTS**

1. Tenant's storefront/identification sign designs shall be subject to Owner approval, including: building materials, style, color, overall size, placement, and method/amount of illumination. Wording of sign shall not include the product(s) sold, except as part of the Tenant's trade name or insignia.
2. Individually illuminated pan channel letters, reverse pan channel letters, open pan channel letters, in script or block, and "push through" letters, are the preferred and approved style of signage allowed. Pan channel letters shall be fabricated from aluminum, and all letters have a minimum of 1" trim cap surrounding the Plexiglas faces. Bullet or cabinet signs only secondary to pan channel letters, may be considered by Owner for approval.
3. No exposed lamps, flashing, audible signs, exposed crossovers or conduit will be permitted. All cabinets, conductors, transformers, and other equipment shall be concealed. The light source shall be contained wholly within the depth structure of the letters of the sign or within a raceway.
4. Temporary signs are prohibited as are any and all freestanding signs be they temporary, such as sandwich boards, or permanent, such as pylon or monument signs, except as those provided by owner for the purpose of advertising the center and its tenants. Paper signs or stickers, utilized inside or

outside glass walls, are prohibited. Moving signs are prohibited. Painted or printed signs, unless specifically approved by the Owner are prohibited.

**E. CONSTRUCTION REQUIREMENTS**

1. Exterior façade signs exposed to the weather shall be mounted to permit proper dirt and water drainage away from the building unless other directed by owner.
2. Location of all openings for conduit and sign panels or building walls shall be indicated by sign contractor on drawing submitted to Owner. All penetrations of the building structure required for sign installation shall be neatly sealed in watertight condition. No label will be permitted on the exposed surfaces signs except those required by local ordinances, which shall be applied in an inconspicuous location.
3. All electrical signs must be UL approved and carry a UL label.
4. No exposed conduit, brackets, fasteners or wiring of any type will be permitted.

**F. MISCELLANEOUS REQUIREMENTS**

1. Tenant will be permitted to place upon each entrance of its premises vinyl decal application lettering indicating hours of business, emergency telephone numbers, etc. Tenant may install on the storefront, if required by US post office, the numbers only for the street address in the location approved by the owner.
2. Tenant shall be fully responsible for the operations of tenants sign contractors and tenant shall indemnify and hold owner harmless from any act or omission a tenant sign contractors.
3. Tenant shall, at the termination of lease, remove tenant sign and repair any damage area and restore the building to its original condition when tenant sign was erected. Electrical service shall be capped.
4. The exterior façade sign shall be operated by a time clock/photocell and shall be illuminated during such hours as prescribed by owner.
5. Tenant is responsible for all costs associated with service, maintenance, repair and replacement of signage.

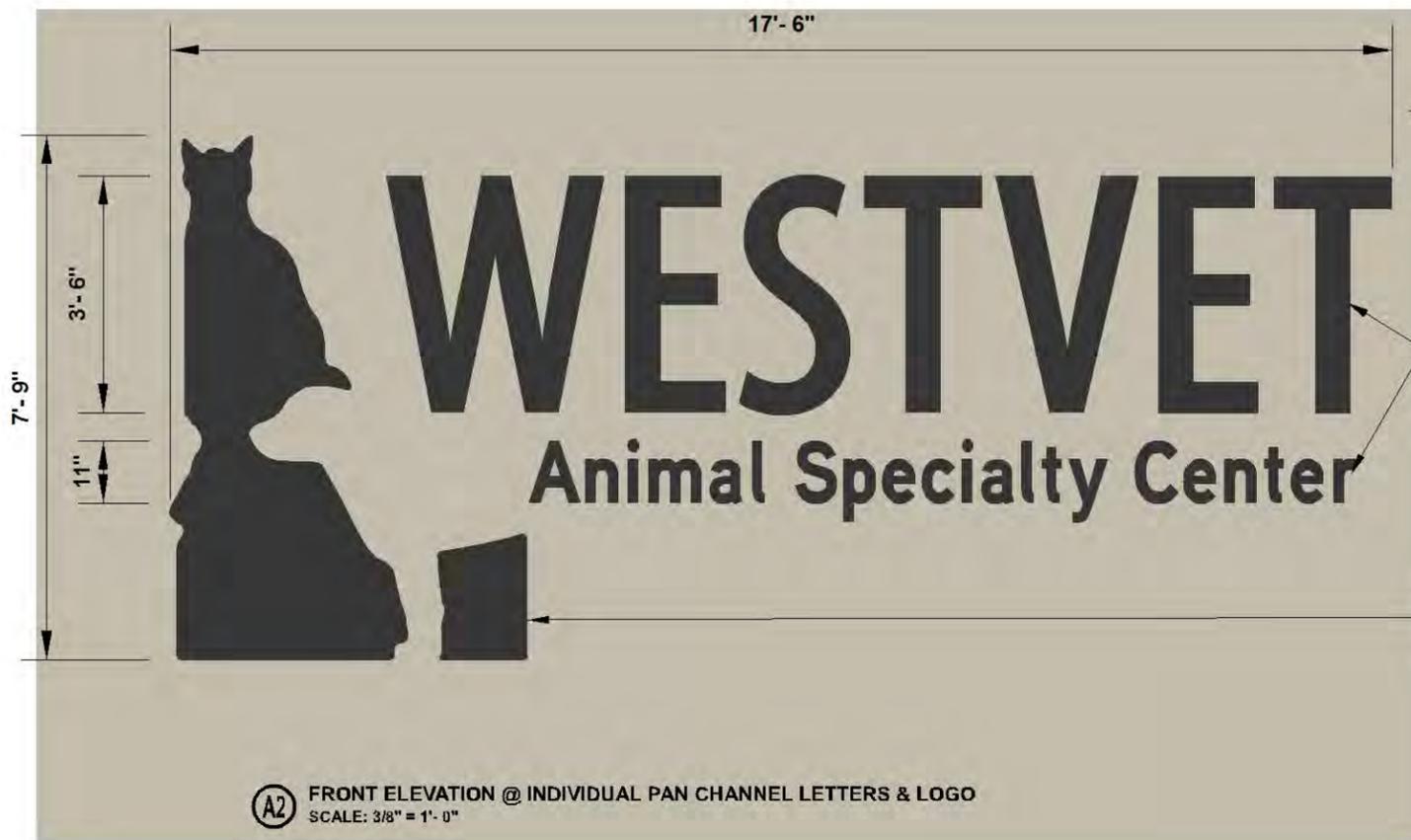
Approved Sign Vendor:

Golden West Advertising  
114 E. 37<sup>th</sup> St.  
Garden City, ID 83714  
208.345.4343

For tenant sign criteria and design services, contact  
Leslie Brown | [leslie@goldenwestsigns.com](mailto:leslie@goldenwestsigns.com) | 208.999.2843



SIDE ELEVATION

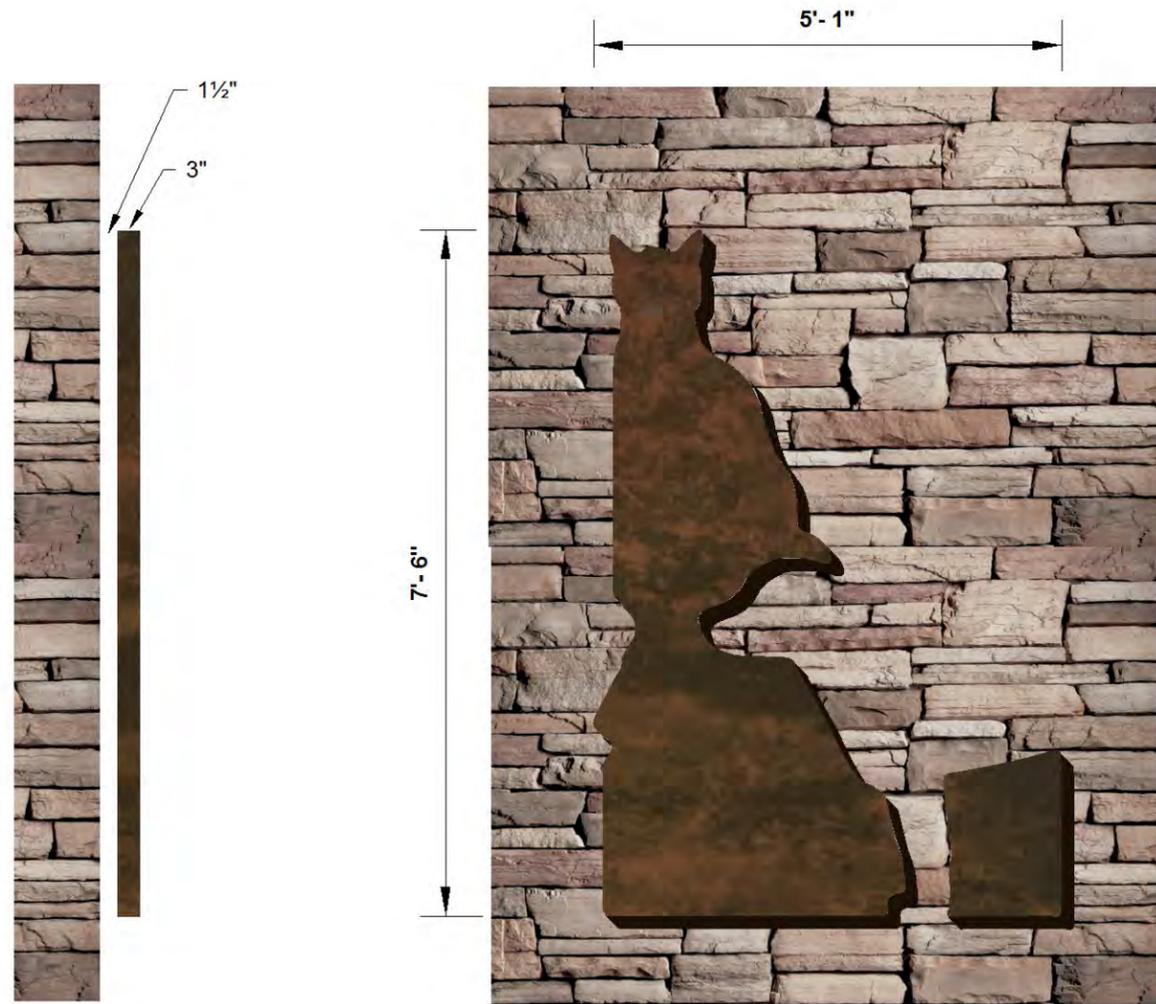


BACKGROUND COLOR IS SAG HARBOR GREY BM HC-95

INDIVIDUAL PAN CHANNEL LETTERS WITH 5" RETURNS PAINTED SEMI-GLOSS SILVER  
LETTERS SHALL HAVE WHITE PLEX FACES WITH 3M DAY/NIGHT FILM 3635-0171 DARK GREY  
1" BLACK TRIM CAP MOLDINGS  
INTERNAL WHITE LED ILLUMINATION

INDIVIDUAL PAN CHANNEL LOGO WITH 5" RETURNS PAINTED SEMI-GLOSS SILVER  
LETTERS SHALL HAVE WHITE PLEX FACES WITH 3M DAY/NIGHT FILM 3635-0171 DARK GRERY  
1" BLACK TRIM CAP MOLDINGS  
INTERNAL WHITE LED ILLUMINATION





SIDE ELEVATION

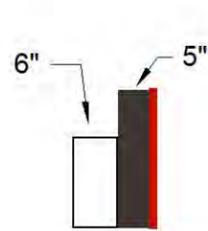
**(B)** FRONT ELEVATION @ LOGO WALL ART  
SCALE: 1/2" = 1'- 0"



PARTIAL SOUTH ELEVATION WITH REVERSE PAN LOGO WALL ART  
SCALE: 3/32" = 1'- 0"

NEW REVERSE PAN CHANNEL LOGO ART WITH 3" RETURNS  
 FACE & RETURNS ARE PAINTED WITH A RUST PATINA FAUX FINISH (VERIFY EXACT COLOR)  
 BASE: BROWN EBONY MP 13799 MID: DARK HORSE MP 11194 TOP: BROKEN BRONZE METALLIC MP 43777 SATIN FINISH  
 CLEAR BACK CARRIERS WITH INTERNAL AMBER LED HALO LIGHTING  
 LOGO TO BE STUD MOUNTED TO PROJECT OFF CULTURED STONE WALL 1 1/2" TO ALLOW FOR HALO LIGHTING





SIDE ELEVATION



© FRONT ELEVATION @ INDIVIDUAL PAN CHANNEL LETTERS ON RACEWAY  
SCALE: 1/2" = 1'-0"

NEW INDIVIDUAL PAN CHANNEL LETTERS WITH 5" RETURNS PAINTED DARK BRONZE  
 LETTER FACES ARE RED PLEX WITH 1" RED TRIM CAP MOLDINGS  
 INTERNAL RED LED ILLUMINATION  
 LETTERS ARE MOUNTED ONTO FAB. METAL RACEWAY (VERIFY FINISH & COLOR)  
 LETTERS & RACEWAY TO BE MOUNTED BETWEEN CANOPY COLUMNS SUPPORT STRUCTURE TO BE VERIFIED



© SOUTH ELEVATION WITH NEW INDIVIDUAL PAN CHANNEL LETTERS  
SCALE: 3/32" = 1'-0"

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ELECTRICAL SIGN COMPANY  
*"Industry leader in manufacturing and sign service since 1946"*  
www.goldenwestsigns.com

project name & location	<b>WESTVET</b> 50th & chinden blvd. / Garden City, Idaho
file name	design 2015/westvet/signage-6.plt
manuf. file name	design 2015/westvet/signage-6.plt

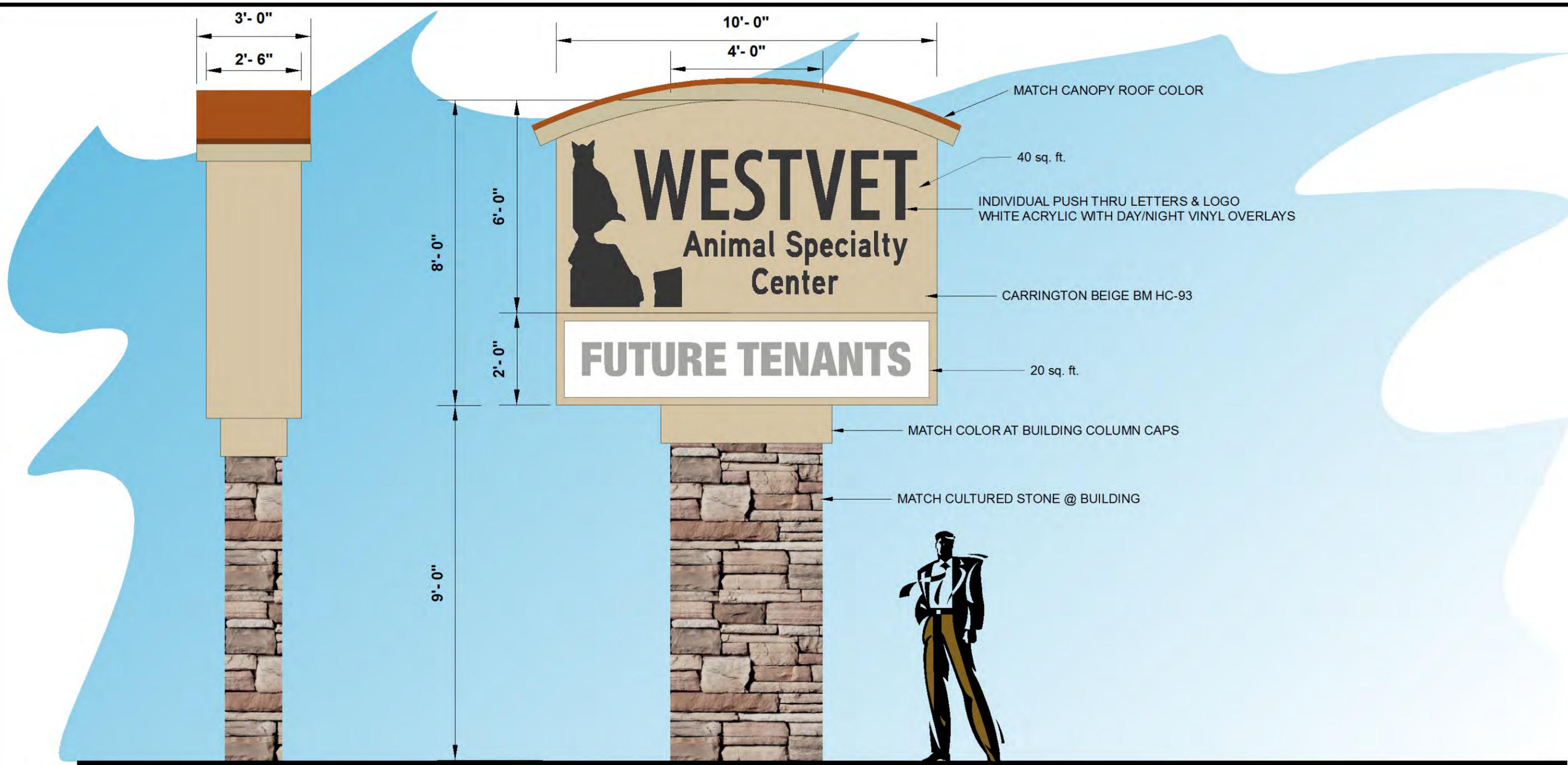
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authorized signature \_\_\_\_\_ date approved \_\_\_\_\_

sales rep	leslie b.
designer	stephen
complete date	2/3/2015
revision date	



design number  
**4564-15**  
sht 3 of 8



SIED ELEVATION

**D4** FRONT ELEVATION @ NEW DOUBLE FACE PYLON SIGN  
SCALE: 3/8" = 1'-0"

NEW DOUBLE FACE FAB. METAL MONUMENT SIGN WITH PAINT & TEXTURE FINISH TO MATCH BUILDING COLORS  
 FACES ARE ALUMINUM WITH ROUTED OUT PUSH THRU COPY & GRAPHICS  
 "WESTVET" COPY & LOGO TO BE 1/2" WHITE ACRYLIC PUSH THRU LETTERS  
 LETTERS & LOGO HAVE DAY/NIGHT #3635-0171 VINYL OVERLAYS (LETTERS & LOGO ILLUMINATE WHITE AT NIGHT)  
 NEW LOWER FACE TO BE WHITE PLEX WITH "UNKNOWN" VINYL FUTURE TENANT COPY  
 800ma INTERNAL FLUORESCENT ILLUMINATION (5 amps @ 120 vac.)  
 NEW FAB. METAL ARCH TOP CAP PAINTED TO MATCH BUILDING COLORS  
 NEW FAB. METAL SUPPORT COVER PAINTED TO MATCH BUILDING WITH CULTURED STONE VENEER TO MATCH BUILDING (BUCKS COUNTY COUNTRY LEDGESTONE)  
 SUPPORT: 8" x .250 WALL SUPPORT PIPE  
 FOOTING: 2'-0"(t) x 4'-0"(w) x 6'-0"(d) 1 1/4 YDS CONCRETE REQ'D

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project name & location	<b>WESTVET</b> 50th & chinden blvd. / Garden City, Idaho
file name	design 2015/westvet/signage-6.plt
manuf. file name	

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authorized signature	date approved
_____	_____

sales rep	leslie b.
designer	stephen
complete date	2/3/2015
revision date	7/29/2015



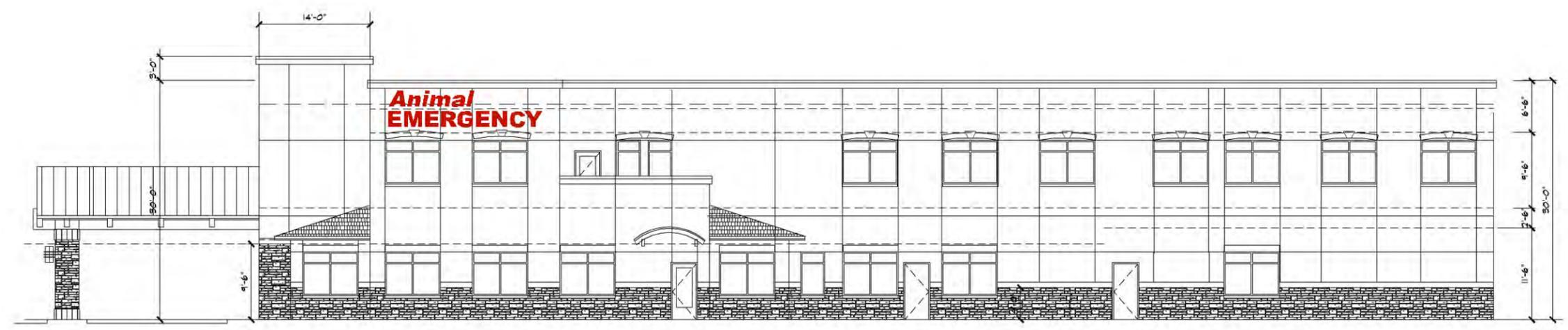
design number  
**4564-15**  
sht 4 of 8



SIDE ELEVATION

**E1** FRONT ELEVATION @ NEW INDIVIDUAL PAN CHANNEL LETTERS  
SCALE: 1/2" = 1' - 0"

NEW INDIVIDUAL PAN CHANNEL LETTERS WITH 5" DARK BRONZE RETURNS  
FACES ARE RED #278-0SG PLEX WITH 1" RED TRIM CAP MOLDINGS  
INTERNAL RED LED ILLUMINATION



**2** EAST ELEVATION

 <b>golden west</b> ELECTRICAL SIGN COMPANY <i>"Industry leader in manufacturing and sign service since 1946"</i> <a href="http://www.goldenwestsigns.com">www.goldenwestsigns.com</a>	project name & location <b>WESTVET</b> 50th & chinden blvd. / Garden City, Idaho	This artwork is produced under federal copyright laws & cannot be reproduced in whole or in part without written permission of golden west advertising inc.. PHOTOS SHOWN ARE TO APPROXIMATE SCALE ONLY	sales rep leslie b.	 	design number <b>4564-15</b>
	file name design 2015/westvet/signage-6.plt		authorized signature _____ date approved _____		designer stephen



SIDE ELEVATION

F SOUTH ELEVATION @ TYPICAL DIRECTIONAL SIGN  
SCALE: 1" = 1'-0"

TYPICAL SPECIFICATIONS:  
 NEW DOUBLE FACE FAB. METAL CABINET DIRECTIONAL SIGNS WITH 15" RETURNS  
 1 1/2" BOX MOLDINGS & RETURNS WITH MED TEXTURE PAINTED BENJAMIN MOORE CARRINGTON BEIGE HC-93  
 FACES ARE ALUMINUM WITH 1/2" WHITE ACRYLIC PUSH THRU LETTERS & LOGO  
 LETTERS & LOGO HAVE DAY/NIGHT #3635-0171 VINYL OVERLAYS (ILLUMINATE WHITE AT NIGHT)  
 LOWER WHITE PLEX FACE WITH CARDINAL RED #230-53 VINYL OVERLAYS REVERSE CUT COPY & ARROWS  
 800ma INTERNAL FLUORESCENT ILLUMINATION  
 FAB. METAL TOP CAP MED TEXTURE PAINTED BM SAG HARBOR GREY BM HC-95  
 BASE SHALL HAVE WONDER BOARD WITH CULTURED STONE TO MATCH BUILDING (BUCKS COUNTY COUNTRY LEDGESTONE)

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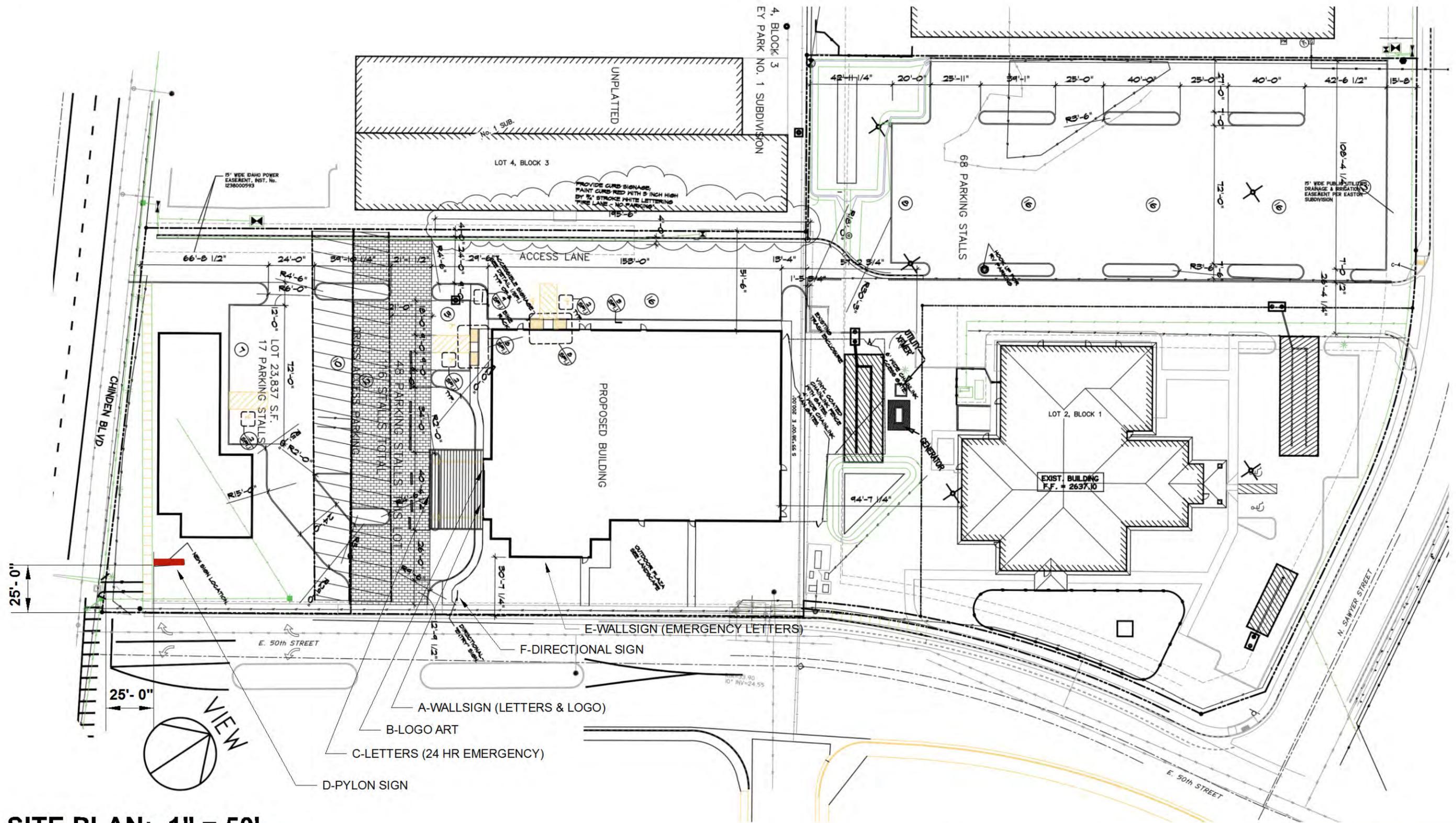


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 sht 6 of 8



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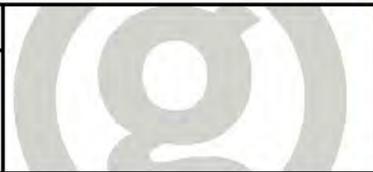
**SITE PLAN: 1" = 50'**

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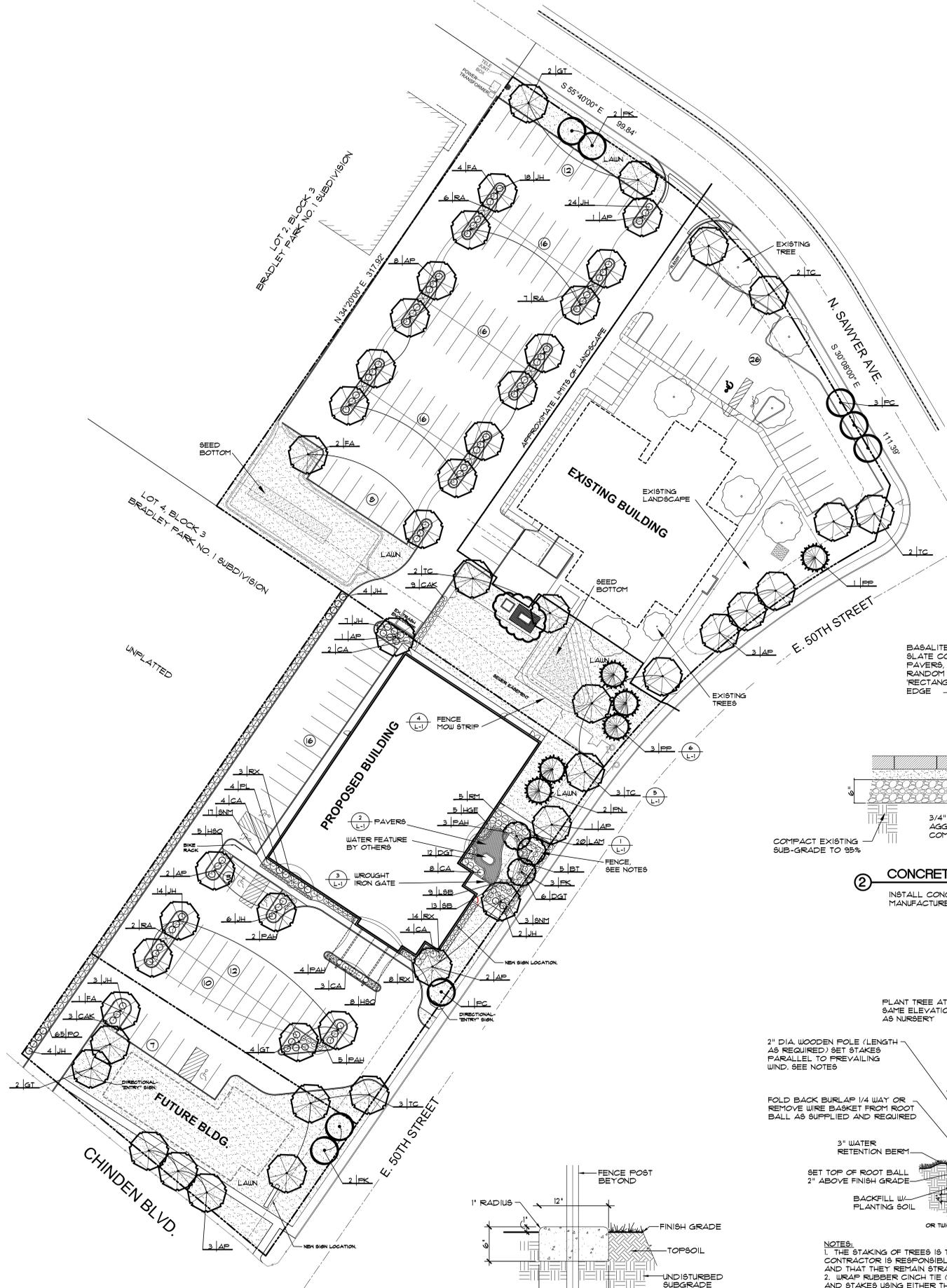
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design number  
**4564-15**  
sht 8 of 8

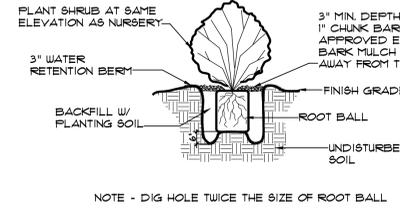


**PLANTING NOTES**

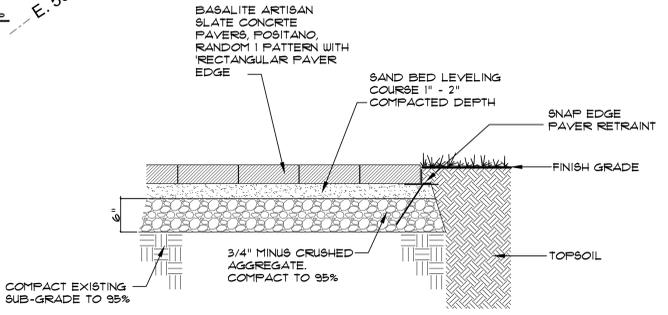
- All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition.
- All lawn areas shall be sodded with 100% Dwarf Turf Type Tall Fescue. All seeded drainage basin infiltration areas shall NOT HAVE ANY TOPSOIL, and be seeded with 100% Dwarf Turf Type Fescue.
- All sodded areas shall have 6" of topsoil EXCEPT DRAINAGE BASIN INFILTRATION AREAS, and all planting beds shall have 18" of topsoil.
- All planting beds and tree wells (wells to be 3' in diameter) shall be covered with a minimum of 3" small (1") Crunch Bark Mulch. Submit sample for approval by owner.
- All plant material shall be guaranteed for a period of one year beginning at the date of acceptance by Owner. Replace all plant material found dead or not in a healthy condition immediately with the same size and species at no cost to the Owner.
- Planting back fill for trees and planting beds shall be 5 parts topsoil and 1 part compost. Stake all trees per details.
- Topsoil shall be a loose, friable, sandy loam, clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass, or other foreign material larger than 1" in any dimension, a pH from 5.5 to 7.0. Top soil from site shall be used, if meeting these standards. Place 1" compost over all planter areas and rototill into top 4". Spread, compact, and fine grade topsoil to a smooth and uniform grade, 1" below surface of walks and curbs in areas to be sodded and 3" in planting bed areas.
- Fertilize all trees and shrubs with "Agriform" planting tablets, 21 gram. Quantity per manufacturer's recommendation.
- Plant material shall not be substituted without the written permission of Owner. Submit names of three suppliers contacted if substitution is requested and plant material specified is not available.
- Immediately clean up any topsoil, or other debris on site created from landscape operation and dispose of properly off site.
- All landscaped areas shall be irrigated with an automatic underground sprinkler system which provides complete coverage and is properly zoned by water uses. Sprinkler system shall be design-built by a qualified irrigation contractor.
- Countertop Fence to be ENDWOOD Capped Cellular PVC Fencing by ENDURIS, Dog Ear, Shadowbox style, Sequoia Color, with 4"x4" Posts. Install per manufacturer's recommendations. Contact Arden Fullen (773) 742-1600 or arden@enduris.com

**PLANT SCHEDULE** (NOTE: ALL TREES TO BE GRADE #)

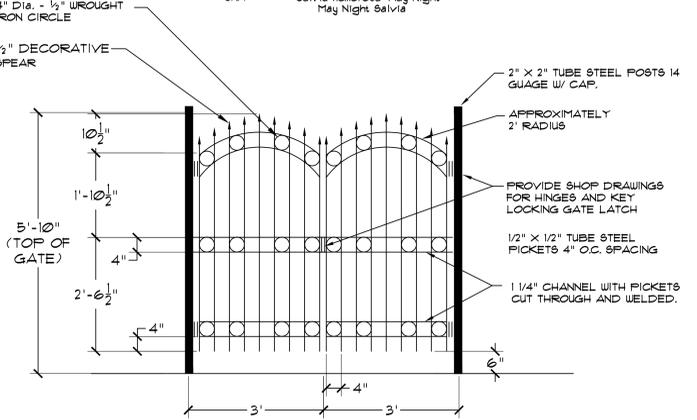
KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE
<b>TREES</b>		
AP	Acer platanoides 'Columnarobcord' Parkway Norway Maple	2" B4B
FA	Fraxinus americana 'Lunginger' Autumn Purple Ash	2" B4B
GT	Gleditsia triacanthos inermis 'Skyline' Skyline Honeylocust	2" B4B
FP	Picea pungens glauca Moorheim Moorheim Blue Spruce	6" B4B
FN	Pinus nigra Austrian Black Pine	6" B4B
FK	Prunus cerasifera 'Kankakee' Kankakee Plum	2" B4B
PC	Rhus caltanensis 'Glen's Form' Chanticleer Flowering Pear	2" B4B
TC	Tillia cordata 'Corzan' Corinthian Linden	2" B4B
<b>SHRUBS</b>		
BT	Berberis thunbergii 'Crimson Pygmy' Crimson Pygmy Barberry	2 Gal.
CA	Cornus alba 'Balthaz' Ivory Halo Dogwood	5 Gal.
JH	Juniperus horizontalis 'Blue Chip' Blue Chip Juniper	2 Gal.
FO	Physocarpus opulifolius 'Summer Wine' Summer Wine Ninebark	2 Gal.
FL	Prunus laurocerasus 'Ottoman' Ottoman Laurel	5 Gal.
RA	Rhus aromatica 'Grow Low' Grow Low Sumac	2 Gal.
RX	Rosa x Chateau Marlowe Marlowe Flowering Carpet Rose	2 Gal.
RM	Rosa meidland Sevillana (red) Rose	5 Gal.
SB	Spiraea bumalda 'Crispa' Crispa Spiraea	2 Gal.
<b>GROUND COVERS/PERENNIALS/GRASSES</b>		
DGT	Dianthus gratianopolitanus 'Tiny Rubies' Tiny Rubies Dianthus	1 Gal.
CAK	Calamagrostis x acutiflora 'Karl Forester' Karl Forester Grass	1 Gal.
HBO	Hemerocallis x 'Stella de Oro' Stella de Oro Daylily	1 Gal.
HGE	Hosta 'Gold Edge' Gold Edge Plantain Lily (Green Gold Margin)	1 Gal.
LAM	Lavendula angustifolia 'Munstead' Munstead English Lavender	1 Gal.
LGB	Leucanthemum superbum 'Becky' Becky Shasta Daisy	1 Gal.
PAH	Pennstemon alopecuroides 'Hamel' Dwarf Fountain Grass	1 Gal.
SNM	Salvia nemorosa 'May Night' May Night Salvia	1 Gal.



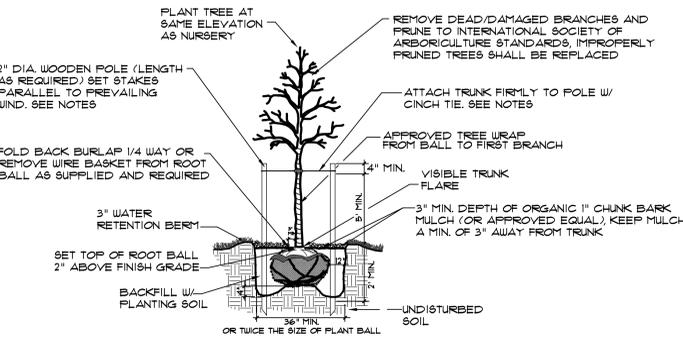
**1 SHRUB PLANTING DETAIL**  
NO SCALE



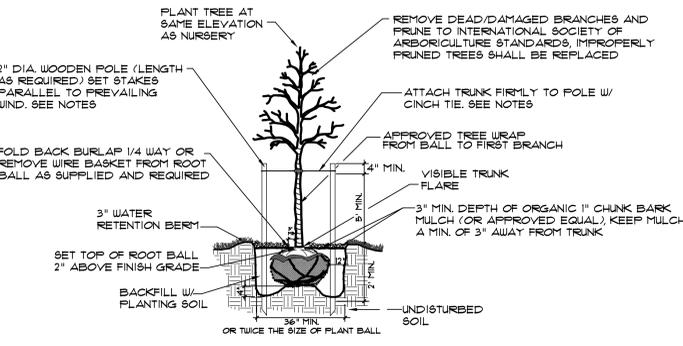
**2 CONCRETE PAVER DETAIL**  
INSTALL CONCRETE PAVERS PER MANUFACTURER'S RECOMMENDATIONS  
NO SCALE



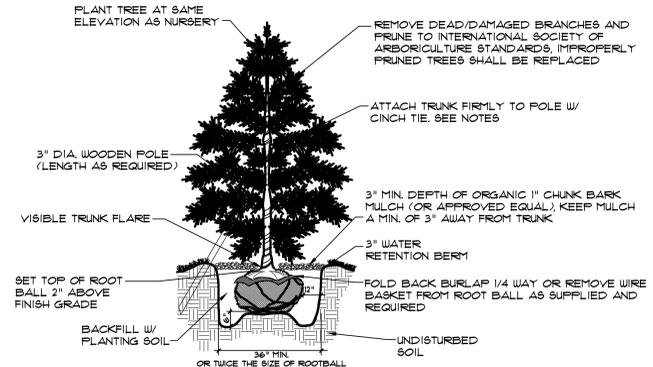
**3 WROUGHT IRON GATE**  
NOTE: ALL METAL TO BE POWDER COATED FLAT BLACK  
NO SCALE



**4 CONCRETE MOW STRIP & FENCE**  
NOTE - PLACE EXPANSION JOINTS 30' O.C. CONTROL JOINTS 5' O.C. AND AT EACH POST  
NO SCALE



**5 DECIDUOUS TREE PLANTING DETAIL**  
NO SCALE



**6 CONIFEROUS TREE PLANTING DETAIL**  
NO SCALE

**LANDSCAPE PLAN**  
SCALE: 1" = 30'-0"



**South**  
LANDSCAPE ARCHITECTURE, P.C.  
2002 S. VISTA AVE.  
BOISE, IDAHO 83706



**Larson Architects, P.A.**  
Architecture and Real Estate Planning  
210 Murray Street  
Boise, Idaho 83714  
(208) 376-7502

**WESTVET EMERGENCY AND SPECIALTY CENTER**  
5024 W. CHINDEN BLVD.  
GARDEN CITY, IDAHO

REVISIONS  
1 Drainage Topsoil Note  
Electrical Equipment  
Sep. 2, 2015

DRAWN BY  
TLS

DATE  
07.01.2015

SHEET NUMBER