



## Design Committee Pre-Application Meeting Request

6015 Glenwood street ▪ Garden City, ID 83714 ▪ 208.472.2921 (tel.)  
208.472.2926 (FAX) ▪ [www.gardencityidaho.govoffice.com](http://www.gardencityidaho.govoffice.com)

The objectives of the design review process is to involve the City in the earliest possible time in the development and design of a project and to work with the applicant in an iterative process of review and design. The review process is intended to be flexible and tailored to the needs of the project and the applicant.

The checklist and required materials are due three (3) business days prior to the Design Committee meeting. **Late submissions will not be accepted under any circumstances.**

### APPLICANT

Name: Jim Neill

RECEIVED

Proposed Site Address  
205 & 209 E 36th St

MAR 23 2016

Date of Requested Meeting:  
Soonest available

### DESIGN INFORMATION

Proposed Use: Single Family, Residential PUD

Surrounding Uses: Auto service & Single family residential

Zoning: M Comprehensive Plan Designation  
L/W/C, Quarter Mile Walkable Area

Is the property located in the 100 year flood plain?

YES

NO

**List the locations of any potential wildlife habitat areas on the property**

None

**List the locations of bus stops and pedestrian pathways within ¼ mile of the property**

Greenbelt, 36th and Chinden?

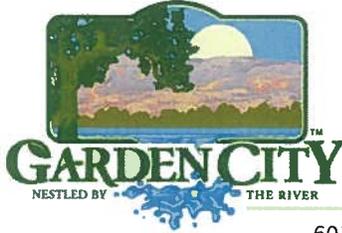
**List any easements and locations of water, sewer and irrigation**

Typical utilities in setbacks and along right of way, Fairview Acres lateral crosses the property (see plan)

**Provide PDFs and one (1) large copy of the following:**

- ✓ 1. **Site Plan, including surrounding development (working draft)**
2. **Elevations (working draft)**
3. **Landscaping Plan (working draft)**
- ✓ 4. **Vicinity Map**

Office Use only: Assigned Reference Number: \_\_\_\_\_



**Pre APPLICATION**

Permit info: \_\_\_\_\_  
 Application Date: \_\_\_\_\_ Rec'd by: \_\_\_\_\_  
 FOR OFFICE USE ONLY

6015 Glenwood Street • Garden City, Idaho 83714 • Phone 208/472-2900 • Fax 208/472-2996

**CONTACT INFORMATION:**

**RECEIVED**

MAR 23 2016

Name: Point Architects for Jim Neill Address: 209 E 35th St  
 City: Garden City State: ID Zip: 83714  
 Office Phone: 208-284-2999 E-mail: rich@pointarchitects.com

**PROJECT DESCRIPTION:** Minor (6 lot) Single Family Residence PUD  
 Parcel # R2734540331 & 341 Lot: 30-32 Block: 28 Subdivision: Ex R/W Fairview Acres Sub No. 5  
 Project Street # 205 & 209 Street Name: E 36th St

**Entitlements Needed**  
 Conditional Use  Minor PUD  Subdivision  Rezone  Variance  Annexation  Appeal  
 Design Review  Other describe: \_\_\_\_\_  
 Comprehensive Plan Designation: L/W/C QMWA Zoning: M Existing sidewalks? Y  N \_\_\_\_\_  
 In Floodplain? Y \_\_\_\_\_ N  Within 70' of river? Y \_\_\_\_\_ N  Existing access to public street? Y  N \_\_\_\_\_  
 List Water Body(s) (irrigation/drainage included): Fairview Acres Lateral (see plan)  
 List Easements : \_\_\_\_\_

**Structure**  
 New Construction  Tenant Improvement  Remodel  Live-Work Create  
 If TI or remodel, are there any exterior changes to the building? Yes/No \_\_\_\_\_  
 Construction Type \_\_\_\_\_ Occupancy Classification \_\_\_\_\_ (sq. feet) \_\_\_\_\_  
 Number of Units \_\_\_\_\_ Stories \_\_\_\_\_ Height \_\_\_\_\_ (ft)  
 Exterior Wall:  frame  block  modular Foundation:  crawl  concrete  basement

**Public Works**  
 Water Service Connection (Select if need new water meter): ¾" \_\_\_\_\_ 1" \_\_\_\_\_ 1.5" \_\_\_\_\_ 2" \_\_\_\_\_ 3" \_\_\_\_\_  
 Sewer Connection Y \_\_\_\_\_ N \_\_\_\_\_ Fire Suppression: \_\_\_\_\_ 6" Sprinkler \_\_\_\_\_ 8" Sprinkler \_\_\_\_\_ Hydrant \_\_\_\_\_  
 Number of sprinkler heads \_\_\_\_\_

<b>ADDED NEW FIXTURES:</b>				<b>RESTAURANTS:</b>
Hand Sink, Lavatory		Urinal-1.0 Gal/flush		Please provide square footage area for all seating:  Indoor: _____ Outdoor: _____ Bar: _____ Banquet: _____ Other: _____
Bar Sink-Faucet count (ESOF)		Water Closet/Tank 2.5g.		
Janitor (Mop, Sunken Floor) Sink		Wtr Cl/Flushmtr Tnk >2.5g.		
Kitchen Sink, per faucet (ESOF)		Water Closet/Valve no tank		
Laundry Tub per faucet(ESOF)		Drinking Ftn/per hd		
Dental Circular Spray Sink		Dishwasher, domestic		
Dental Flushing Rim Sink		Clothes Washer, dom.		
Dr. Hosp.--Clinic Sink		Ice Machine		
Shower (per faucet head)		Hose Bibb Interior only		
Bathtub/Shower Combo.		Dental Unit -(Cusp.)		
Other				

---

**OFFICE USE**

**Meeting Attendees:**

- 1. \_\_\_\_\_
- 2. \_\_\_\_\_
- 3. \_\_\_\_\_
- 4. \_\_\_\_\_
- 5. \_\_\_\_\_

- 6. \_\_\_\_\_
- 7. \_\_\_\_\_
- 8. \_\_\_\_\_
- 9. \_\_\_\_\_

**List any unique constraints or conditions on the property including utility issues and fire safety concerns:**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Other Notes:**

\_\_\_\_\_

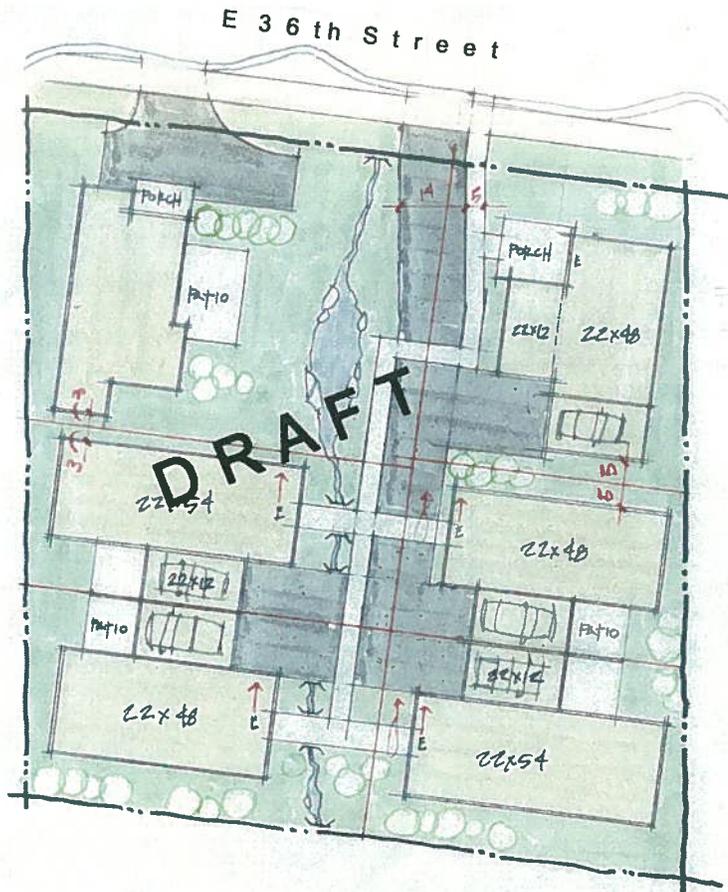
\_\_\_\_\_

RECEIVED

MAR 23 2016



RECEIVED  
MAR 23 2016



Conn PUD  
conceptual plan  
1"=20' :: 03.23.16

205 & 209 E 35th St

