

Development Services Staff Report for Design Review Committee

To: Design Review Committee
From: Jeff Lowe, Planner
Subject: DSRFY2016-4 – Vehicle Service Landscaping
Date: February 11, 2016

Summary: Park Hampton LLC/Hall Capital LLC, are requesting Design Review approval for landscaping associated with a Vehicle Service facility. The site is to be redeveloped as a race car shop to include preparation, repair and restoration of vehicles, a retail area for patrons, and the sale vehicles related to the operation of the shop. The 2.06 –acre site is located at 108 & 116 E. 44th Street, and 4410 & 4444 N. Osage and is within the C-2 General Commercial Zoning District, and is in the Mixed Use Commercial area of the Comprehensive Plan.

Background:

On March 18, 2015, the Planning and Zoning Commission approved CUP2015-00003, a Conditional Use Permit for a Vehicle Service at the subject site.

Analysis:

Relevant Code Sections:

8-4C-3 B. **Objective #2.** The design layout of all sites shall maximize opportunities for safe and comfortable pedestrian accessibility and minimize the obtrusive effects of parking and vehicular circulation.

1. Parking Lot Locations: All parking lots should be located to the side and rear of the building fronting on the street. A parking lot may be located between a building and a street when the visual effect of the parking has been mitigated by one of the following ways:
 - a. The lot is a minor component in a large site development and is no wider than one parking bay and one driveway lane; or
 - b. The site design demonstrates that the parking lot is well integrated with the overall site design and pedestrian connections and amenities have been provided that compensate for the parking lot location; or
 - c. A minimum of ten feet (10') of landscaping has been provide between the parking lot and the view of the surface lot from the street is minimized; or
 - d. The parking lot is designed with materials and landscaping that softens the appearance of the parking lot.

8-4I-4: **LANDSCAPING PROVISIONS FOR SPECIFIC USES:**

B. Landscaping for Townhouse, Two-Family Duplex, and Multi-Family Dwelling Units; Manufactured and Mobile Homes and All Non-Residential Uses.

1. A minimum of five percent (5%) of the gross site area shall be landscaped areas, excluding areas for setback or perimeter landscaping.
2. A minimum of one (1) Class III or Class II tree shall be planted in the frontage and every adjacent street side. An additional Class I tree shall be planted in the corresponding setback for every increment of fifty (50) feet linear feet of frontage.
 - a. Trees shall be selected from the City's approved list of appropriate tree species contained in the "Garden City Design and Construction Guide".
 - b. Trees shall be distributed throughout the site.
 - c. Shrubs shall be grouped and distributed throughout the site.

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3. Trees may be substituted for up to one-half (1/2) of the required shrubs at the rate of one (1) tree for ten (10) shrubs and vice versa.
4. Class II or Class III trees can be substituted at the rate of two (2) Class I trees for every one (1) Class II or Class III trees unless otherwise specified by an adopted street design or master plan.

8-4I-5 PERIMETER LANDSCAPING PROVISIONS:

- B. **Applicability.** Required perimeter landscaping meeting the standards set forth in paragraph C of this section is required in the following situations:
6. Between other paved vehicular use areas, including driveways, and vehicle storage areas and all property lines;
- C. **Standards.**
1. A perimeter landscaping area shall be at least ten feet (10') wide measured from the property line to the interior of the lot;
 2. A screen consisting of vegetation shall be at least six feet (6') wide and six (6) feet (6' X 6') in height at maturity;
 3. At least one tree shall be planted for every fifteen (15) linear feet of perimeter length (or as appropriate to the selected species) to quickly establish continuous canopy coverage.
 4. Additional standards for parking lots and carports are set forth in 8-4I-6 PARKING LOT LANDSCAPING PROVISIONS of this Article.
 5. Structures less than 120 square feet, including but not limited to trash enclosures and storage sheds may encroach into the perimeter landscape area.
 6. Perimeter landscape areas shall provide for pedestrian access from residential development to abutting commercial districts and vice versa.

8-4I-6 PARKING LOT LANDSCAPING PROVISIONS:

- A. **Purpose.** Landscape areas shall be distributed throughout a parking lot to soften and screen parking lot edges, reinforce circulation routes, create pleasant pedestrian conditions and maximize shade and stormwater benefits.
- B. **Applicability.** The provisions of this section shall apply to all parking lots of five (5) spaces or more.
- C. **Standards.**
1. Landscaped areas in large parking lots shall be consolidated to enhance tree and plant material growing conditions.
 2. Landscaped areas shall be designed to accommodate the following:
 - a. Trees shall be planted with access to at least (5) five square feet of area and three (3) in depth of quality soil prepared to the specifications set forth in "Garden City Design and Construction Guide".
 - b. High-branching, deciduous shade trees planted evenly at fifteen foot (15') intervals (or as appropriate to the selected species) to quickly establish continuous canopy coverage.
 3. Plant materials for parking lot landscape areas shall be selected for suitability in that environment:
 - a. Native and non-native plant species that are hardy, drought tolerant, and resistant to the stresses of compacted soils and weather exposure shall be used;
 - b. Suitable native species shall be included where possible and appropriate;
 - c. Invasive species shall not be planted near the Boise River Greenbelt and other natural areas;

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- d. Monocultures which can be susceptible to disease shall be avoided;
 - e. Consideration to the sun, shade and irrigation requirements shall be made; and
 - f. A variety of deciduous and coniferous trees and shrubs for year-round interest, texture, shape and seasonal color shall be planted.
4. Landscape areas shall be coordinated with the location of light standards and other utilities.

D. **Perimeter Landscaping and Screening Standards.**

1. Edge- treatments along streets and other public spaces shall visually screen parked vehicles, but not completely obstruct views into and out of the parking lot for the purpose of supporting pedestrian safety and security.
2. Solid masonry or wood fencing a minimum of six feet (6') in height with landscaped screening shall be provided between parking lots and residential uses or vacant residentially zoned properties.

E. **Internal Landscaping Standards**

1. Landscaped areas, including islands, medians, and stormwater retention area shall be designed within the parking lot to define major vehicle and pedestrian routes, provide shade and break up the expanse of paved areas.
2. Internal landscaped areas shall be designed with a curb to prevent damage from vehicles, to separate planting areas from pedestrian pathways, and to prevent soil and other landscape material from spreading over adjacent surfaces.
 - a. Taller or shorter curbs are permitted where vehicle overhang and door clearances are not an issue.
 - b. Curb cuts are permitted to the extent needed to support accessibility and stormwater initiatives.
3. Plant high-branching deciduous trees throughout the parking lot interior to provide shade for pedestrians, vehicles and surfaces.
 - a. Internal shade trees shall be provided at a minimum ratio of one (1) tree planted for every five (5) parking spaces supplied.
 - b. Internal shade trees shall be planted such that no parking space is more than one hundred feet (100') from a tree.
 - c. On small or narrow sites, shade trees provided in non-street facing perimeter planting areas can be counted toward the internal tree requirement, provided that the maximum distance from a parking space (100') is met.
4. Include landscaped islands with at least one (1) tree at the beginning and end of each parking row and to break up longer rows or highlight special features.
5. A continuous landscape median at least ten feet (10') in width shall be provided every three banks of parking (a bank is two rows of parking and a drive aisle).

CUP2015-0003 Site Specific Conditions of Approval

7. The design of the project must be approved by the Garden City Design Review Committee prior to the issuance of a building permit. The review will include improvements to the grassy areas located in between the front of the buildings and 44th Street. This may include seating areas and/or other features as may be approved by the Committee. All requirements shall be met and improvements constructed prior to the issuance of a Certificate of Occupancy.
8. A minimum of six (6) Class II or III trees (2-inch caliper minimum) shall be installed in the front setback areas located along 44th Street prior to the issuance of a Certificate of Occupancy.
9. Prior to the issuance of a Certificate of Occupancy, any barb wire located atop the front perimeter fence shall be removed.

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Discussion:

Previously (as noted above under history), the applicant was approved for a Conditional Use Permit to redevelop/repurpose a site for a race car shop/facility. As part of the Conditions of Approval, the applicant is to obtain Design Review approval for landscaping improvements located within the front yard area along 44th.

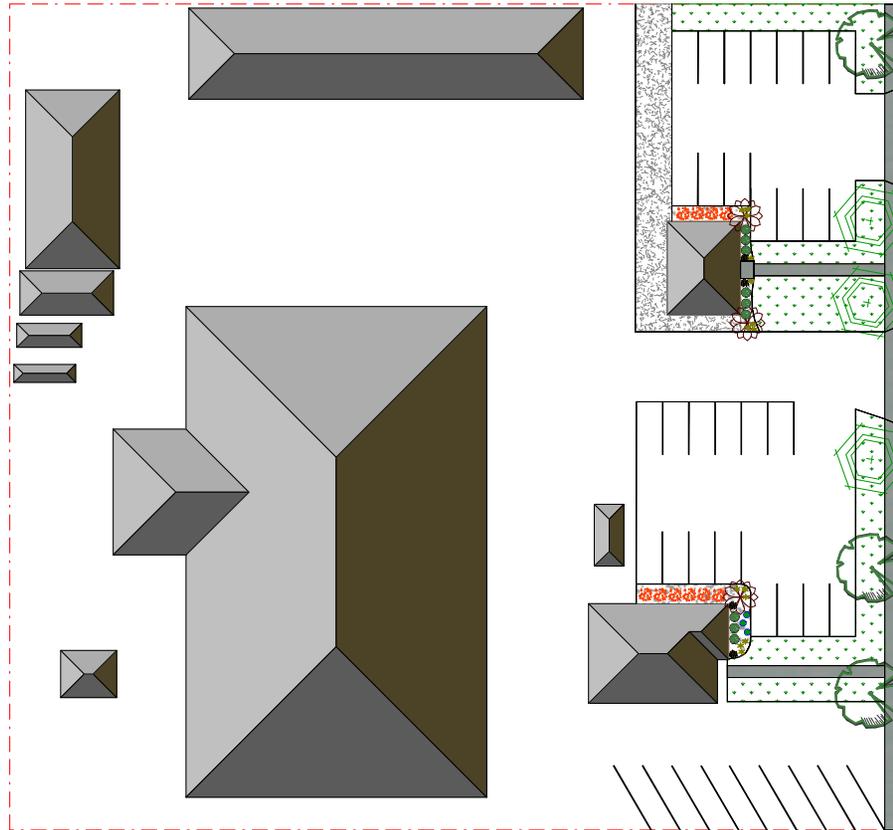
In most respects, the applicant has designed the landscaping area to be compliant with Garden City Code. The applicant has designed three parking areas adjacent to the existing structures on the site.

As noted in Garden City Code, all parking lots should be located to the side and rear of a building fronting on the street. The code allows a parking lot to be located between a building and a street when the visual effect of the parking has been mitigated. One of the methods that may be utilized to accomplish this is to provide a minimum of ten feet (10') of landscaping between the parking lot and the view from the street. The applicant does show a 10-foot wide landscape area, consisting of trees and sod, located between the back of sidewalk along 44th Street and the parking lot. **It is recommended that shrubs be planted in the landscape area to help minimize the view of the parking area from 44th Street.**

Garden City Code requires perimeter landscaping between parking areas and other paved vehicular use areas, including driveways, and vehicle storage areas and all property lines. **The applicant should install landscape areas between the south parking lot and Osage and the parking row and the central driveway (on 44th Street).**

Garden City Code requires landscaped islands with at least one (1) tree at the beginning and end of each parking row and to break up longer rows or highlight special features. **The applicant should install landscape islands on each end of the parking rows on the middle parking lot.**

Vehicle Service Landscape Plan



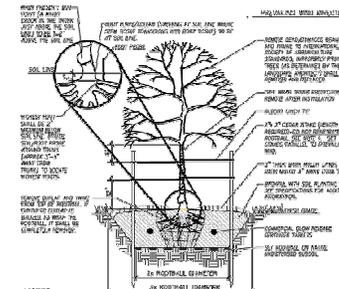
Legend			
Common Name	Qty	Size	
Flower, Grass			
Grass, Karl Foerster	4	1 Gal.	
Flower, Perennial			
Nepeta, Catmint	3	1 Gal.	
Daylily, Stella	14	1 Gal.	
Shrub, Deciduous			
Barberry, Crimson Pygmy	9	5 Gal.	
Dogwood, Ivory Halo	10	5 Gal.	
Tree, Deciduous			
Ash, Patmore	3	2" Cal.	
Maple, Red Sunset	3	2" Cal.	
Pear, Chanticleer	3	2" Cal.	

- Sod
- Cedar Bark Mulch
- 3/4" Chip Rock

Total property sq ft- 86,330 sq ft
 Required 5% Landscape- 4,316 sq ft
 Actual Landscape- 4,680 sq ft

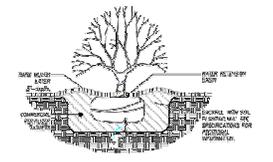
Landscape Notes:

- All planting beds shall be covered with a minimum of 2" of landscape mulch
- Finish grades to be smooth and even gradients with positive drainage.
- All planter beds and sod areas shall have a minimum of 6" of top soil spread, compact and fine grade to a smooth and uniform grade 1" below surface of walks and curbs.
- Re-use existing surface topsoil where possible. Verify suitability of surface soil to topsoil meeting requirements and amend when necessary. Topsoil shall be a loose, friable, sandy loam, clean and free of toxic materials, noxious weeds, weed seeds, rocks, grass or other foreign material.
- All landscaped areas shall have an automatic underground sprinkler system which ensures complete coverage and properly zoned for required water uses.

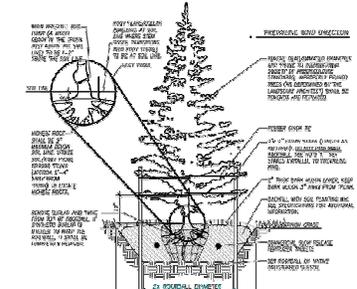


- NOTES:**
- THE SPACING OF TREES TO BE PLANTED SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE CITY PLANTING DEPARTMENT.
 - REMOVE ALL EXISTING MULCH AND SOIL FROM THE PLANTING AREA TO A MINIMUM OF 6" BELOW THE FINISH GRADE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER AND THE CITY PLANTING DEPARTMENT.
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1 DECIDUOUS TREE PLANTING

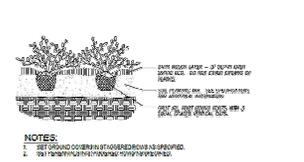


3 SHRUB PLANTING



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2 CONIFEROUS TREE PLANTING



4 GROUNDCOVER PLANTING

IMPROVEMENT PLANS FOR EAST 44th STREET GARDEN CITY, ADA COUNTY, IDAHO 2015

UTILITY REPRESENTATIVES		
UTILITY	REPRESENTATIVES	PHONE
GAS	INTERMOUNTAIN GAS	(208) 372-6639
ELECTRICITY	IDAHO POWER	(208) 389-6320
TELEPHONE	QWEST	(208) 385-7144
SEWER	GARDEN CITY	(208) 472-2900
WATER	UNITED WATER OF IDAHO	(208) 362-7200
ROADS	ADA COUNTY HIGHWAY DISTRICT	(208) 387-6100
IRRIGATION	NOT APPLICABLE	
FIRE	NORTH ADA COUNTY FIRE & RESCUE	(208) 229-2900

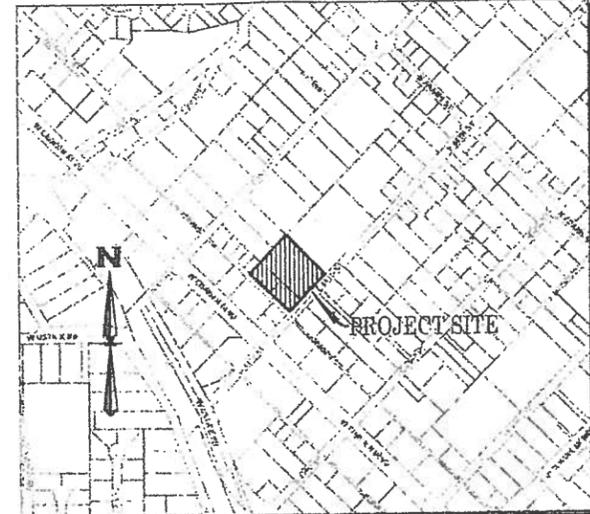
CIVIL ENGINEER
JIM E. COSLETT, P.E.
ROCK SOLID CIVIL LLC.
270 N. 27TH STREET, SUITE C
BOISE, ID 83702
(208) 342-3277

OWNER
JOHN WOOD
116 EAST 44th STREET
GARDEN CITY, ID. 83714

NOTE:
1. ALL DIMENSIONS SHOWN ARE TO BACK-OF-CURB UNLESS OTHERWISE NOTED.
2. ALL GRADES ARE TO BACK-OF-CURB UNLESS OTHERWISE NOTED.

KEYNOTES

1. SAW CUT EXIST. ASPHALT AS SHOWN TO MAINTAIN 1% - 4% CROSS SLOPE. (REPAIR PER I.S.P.W.C. SD-301, SD-303, & SD-806) (SEE PAVEMENT REPAIR NOTES THIS SHEET)
2. CONST. 4' WIDE ASPHALT RAMP FROM SIDEWALK TO EDGE OF PAVEMENT
3. CONST. PCD RAMP (PER I.S.P.W.C. SD-710C) W/TRUNCATED DOMES RIGID INSERTS SET INTO CONCRETE COLORED TRAFFIC YELLOW (PER SD-712). (CONCRETE STAMP & ADHESIVE MATS NOT ALLOWED) CONTRACTOR TO VERIFY CROSS SLOPE NOT TO EXCEED 1.75% ±0.25% (NO TOLERANCES ALLOWED)
4. CONST. 4' CONC. VALLEY CUTTER (PER ACHD SUP. DWG. SD-708)
5. CONST. 5' LONG CURB TERMINUS (PER I.S.P.W.C. SD-707) WRAP END OF CURB W/ 1" W/ ASPHALT FOR STABILITY
6. CONST. 15' ASPHALT TAPER MATCH EXIST. EDGE OF PAVEMENT.
7. ADJUST GRAVITY IRRIGATION MANHOLE TO FINISHED GRADE. KEEP MANHOLE 1/2' OUT OF VALLEY CUTTER.
8. CONST. 5' CONC. SIDEWALK (PER ACHD SUP. DWG. SD-703) CONTRACTOR TO VERIFY CROSS SLOPE NOT TO EXCEED 1.75% ±0.25% (NO TOLERANCES ALLOWED)
9. RE-CONSTRUCT EXIST. CATCH BASIN W/ 1/2" SUMP (PER ACHD SUP. DWG. SD-601 W/ 2" GRATE) 2544.73 INV.
10. CS12 2844.50 INV. 0=0.22 OFS 0=0.17 OFS W/ 1" SUMP (PER ACHD SUP. DWG. SD-601 W/ 2" GRATE)
11. ADJUST WATER VALVES TO FINISHED GRADE AS NEEDED. RE-CONST. COLLARS AS NEEDED.
12. CONST. 4' WIDE CONC. SIDEWALK TO FRONT DOOR OF HOUSE. FIELD COORDINATE EXACT LOCATION (PER I.S.P.W.C. SD-709)
13. NEW MAIL BOX LOCATION (COORDINATE W/ OWNER)
14. REMOVE EXIST. POLE
15. 1000 GAL. SAND/CREACK TRAP NO. 1 (SEE DETAIL SHEET 2)
16. HORIZONTAL SAND FILTER 2000 OF L-207, W-11.5', D-3'5" (PER BWP 05) (SEE DETAIL SHEET 2)
17. GROUNDWATER OBSERVATION WELL W/ TRAFFIC RATED LD (TP-1) (SEE DETAIL SHEET 2)
18. CONST. CONC. DRIVEWAY APPROACH (PER ACHD SUP. DWG. SD-710B)
19. 10' ACID STORM DRAIN EASEMENT
20. CONST. ASPHALT DRIVEWAYS PER DIMENSIONS SHOWN (2 1/2" ASPHALT; OVER 4" OF 3/4" MINUS CRUSHED AGGREGATE; OVER 12" OF 6" MINUS PIT RUN)

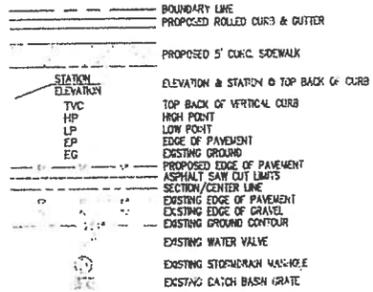


VICINITY MAP
1" = 500'

PAVEMENT REPAIR NOTES:
ACTUAL FIELD CONDITIONS DURING TRENCHING MAY REQUIRE ADDITIONAL PAVEMENT REPAIR BEYOND THE LIMITS SHOWN ON THE PLANS. THE FOLLOWING CONDITIONS ARE LISTED IN SECTION 6000 OF ACHD POLICY MANUAL. ALSO REFERENCE I.S.P.W.C. SD-301; ACHD SUP. DWG SD-303; & ACHD SUP. DWG SD-806.

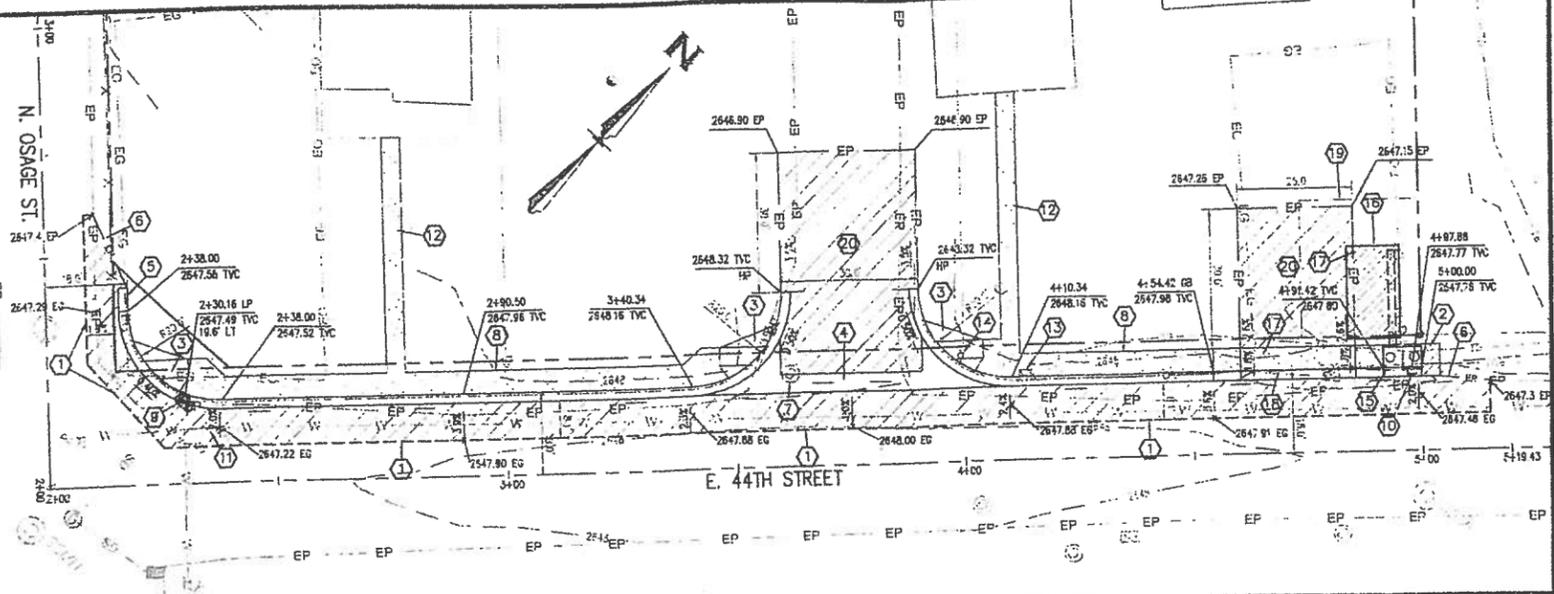
- 1) ALL ASPHALT MATCH LINES FOR PAVEMENT REPAIR SHALL BE PARALLEL TO THE CENTERLINE OF THE STREET AND INCLUDE ANY AREA DAMAGED BY EQUIPMENT DURING TRENCHING OPERATIONS.
- 2) IF THE CUMULATIVE DAMAGED PAVEMENT AREA EXCEEDS 50% OF THE TOTAL ROAD SURFACE, CONTRACTOR SHALL REPLACE THE ENTIRE ROADWAY SURFACE.
- 3) CONTRACTOR SHALL REPLACE THE PAVEMENT SURFACE TO ENSURE MATCH LINE DOES NOT FALL WITHIN THE WHEEL PATH OF A LANE. MATCH LINE SHALL ONLY FALL BY THE CENTER OR EDGE OF A TRAVEL LANE.
- 4) FLOWABLE FILL OR IMPORTED MATERIAL MAY BE REQUIRED IF THE NATIVE TRENCH MATERIAL IS DEEMED UNSUITABLE BY ACHD INSPECTOR. DOES NOT MEET COMPACTION STANDARDS OR TIME IS A CRITICAL FACTOR.
- 5) ANY EXCEPTIONS TO THESE RULES SHALL BE PRE-APPROVED IN WRITING BY THE DISTRICT STAFF BEFORE CONSTRUCTION BEGINS.
- 6) MATCH EXIST. STREET/DRIVEWAY SECTION OR USE THE FOLLOWING 2 1/2" OF ASPHALT OVER 4" OF 3/4" MINUS CRUSHED AGGREGATE OVER 14" OF 6" MINUS PIT RUN. WHICHEVER IS SECTION IS GREATER MUST BE USED.

GENERAL LEGEND

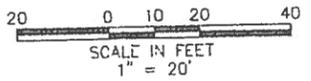


ROADWAY

1. ALL CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE CURRENT EDITION OF THE I.S.P.W.C. AND THE ACHD SUPPLEMENTAL SPECIFICATIONS. NO EXCEPTED DISTRICT POLICY STANDARDS, AND THE I.S.P.W.C. WILL BE ALLOWED UNLESS SPECIFICALLY AND PREVIOUSLY APPROVED IN WRITING BY THE DISTRICT.
2. WHEN DISCREPANCIES OCCUR BETWEEN PLANS AND SPECIFICATIONS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL NEGOTIATE ANY CONTRACTORS CLAIM FOR ADDITIONAL COMPENSATION.
3. INSPECTION OF WORK WITHIN THE RIGHT-OF-WAY SHALL BE BY THE ADA COUNTY HIGHWAY DISTRICT AND THE OWNER'S ENGINEER. CONTACT ACHD INSPECTION SERVICES AT 387-6280 MINIMUM 24 HOURS NOTICE.
4. ALL TYPES OF VALVE BOXES AND SEWER MANHOLES SHALL BE SET FLUSH WITH THE GRADE OF THE FINISHED STREET GRADES. THE ROADWAY CONTRACTOR SHALL INSTALL AND ADJUST ALL SPACERS, GRADE FINISHES, MANHOLE RINGS AND LIDS.
5. EXISTING A.C. PAVEMENT SHALL BE CUT TO A NEAT STRAIGHT LINE PARALLEL OR PERPENDICULAR TO THE STREET CENTERLINE AND THE EXPOSED EDGE SHALL BE TACKED WITH EMULSION PRIOR TO PAVING.
6. ALL COSTS OF RETESTING FOR PREVIOUSLY FAILED TESTS SHALL BE BACKCHARGED TO THE CONTRACTOR BY THE OWNER.
7. ALL COSTS TO THE CONTRACTOR INCURRED BY CORRECTING DEFECTIVE WORK SHALL BE TO THE CONTRACTOR'S ACCOUNT. FAILURE TO CORRECT SUCH WORK WILL BE CAUSE FOR A STOP WORK ORDER AND POSSIBLE TERMINATION.
8. ALL STORM DRAINAGE APPURTENANCES SHALL BE INSPECTED BY ADA COUNTY HIGHWAY DISTRICT AND THE OWNER'S ENGINEER.
9. ALL WATER VALVES WILL BE PLACED SO AS NOT TO CONFLICT WITH ANY CONCRETE CURB, GUTTER, VALLEY CUTTER, AND SIDEWALK IMPROVEMENTS.
10. ALL WATER METER DEVICES ARE TO BE LOCATED CURBSIDE TO THE ROAD RIGHT-OF-WAY. ALL FIRE HYDRANTS ARE TO BE LOCATED WITHIN THE ROAD RIGHT-OF-WAY THERE MUST BE AT LEAST A ONE (1) FOOT SEPARATION BETWEEN BACK OF SIDEWALK (OR CURB IF NO SIDEWALK) AND THE LEADING EDGE OF ANY FIRE HYDRANT.
11. OVER EXCAVATION AND ADDITIONAL GRANULAR BACKFILL MAY BE REQUIRED IN HIGH GROUNDWATER AREAS WHICH ARE TO BE DETERMINED BY THE FIELD INSPECTOR.
12. ALL MATERIALS PLACED AS FILL OR BACKFILL SHALL BE PLACED AND COMPACTED IN ACCORDANCE WITH SECTION 600 OF THE CURRENT EDITION OF ADA COUNTY HIGHWAY DISTRICT STANDARD SPECIFICATIONS.
13. CLEANING AND GRUBBING AND REMOVAL OF OBSTRUCTIONS SHALL BE IN ACCORDANCE WITH I.S.P.W.C. SECTION 201.
14. EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH I.S.P.W.C. SECTION 202.
15. STRUCTURAL EXCAVATION AND COMPACTING BACKFILL SHALL BE IN ACCORDANCE WITH I.S.P.W.C. SECTION 204.
16. DEMOLITION SHALL BE IN ACCORDANCE WITH I.S.P.W.C. SECTION 205.
17. PERMANENT EROSION CONTROLS SHALL BE IN ACCORDANCE WITH I.S.P.W.C. SECTION 206.
18. PERMANENT STORMWATER BEST MANAGEMENT PRACTICES SHALL BE IN ACCORDANCE WITH I.S.P.W.C. SECTION 207.
19. UNCRUSHED AGGREGATE (3 INCH MINUS) SHALL BE PER I.S.P.W.C. SECTION 601.
20. CRUSHED AGGREGATE BASE 3/4 INCH (TYPE II) SHALL BE PER I.S.P.W.C. SECTION 502.
21. DRAINAGE GEOTEXTILE (TYPE I) SHALL BE PER I.S.P.W.C. SECTION 2050.
22. ROADWAY CONSTRUCTION WILL MEET SPECIFIC DETAILS AND REQUIREMENTS OF THE FOLLOWING IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION STANDARDS AND SPECIFICATIONS (CURRENT EDITION):
A. STREET SECTION, ADA COUNTY SD-R11, AND SECTIONS AS SHOWN ON TYPICAL STREET SECTIONS.
B. CONCRETE VALLEY CUTTER, DRAWING NO. SD-708 (ACHD SUP. DWG. SD-708)
C. ROLLED CURB AND GUTTER, DRAWING NO. SD-702 (ACHD SUP. DWG. SD-702)
D. PEDESTRIAN RAMP FOOTING AND CAP, DRAWING NO. SD-712C
E. SIDEWALKS, DRAWING NO. SD-709 (ACHD SUP. DWG. SD-709)
F. STANDARD DROP-INLET TYPE I, 12" SUMP, DRAWING NO. SD-501 (ACHD SUP. DWG. SD-501)
23. THE ENGINEER OF RECORD CERTIFIES THAT THE PLANS ARE PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE ACHD POLICY AND STANDARDS IN EFFECT AT THE TIME OF PREPARATION. THE ENGINEER ACKNOWLEDGES THAT ACHD ASSUMES NO LIABILITY FOR ERRORS OR OMISSIONS IN THE DESIGN OR ALL VARIANCES FROM ACHD POLICY SHALL BE APPROVED IN WRITING. THE FOLLOWING VARIANCES, LISTED BY DATE AND SHORT DESCRIPTION, WERE APPROVED FOR THE PROJECT: NONE.

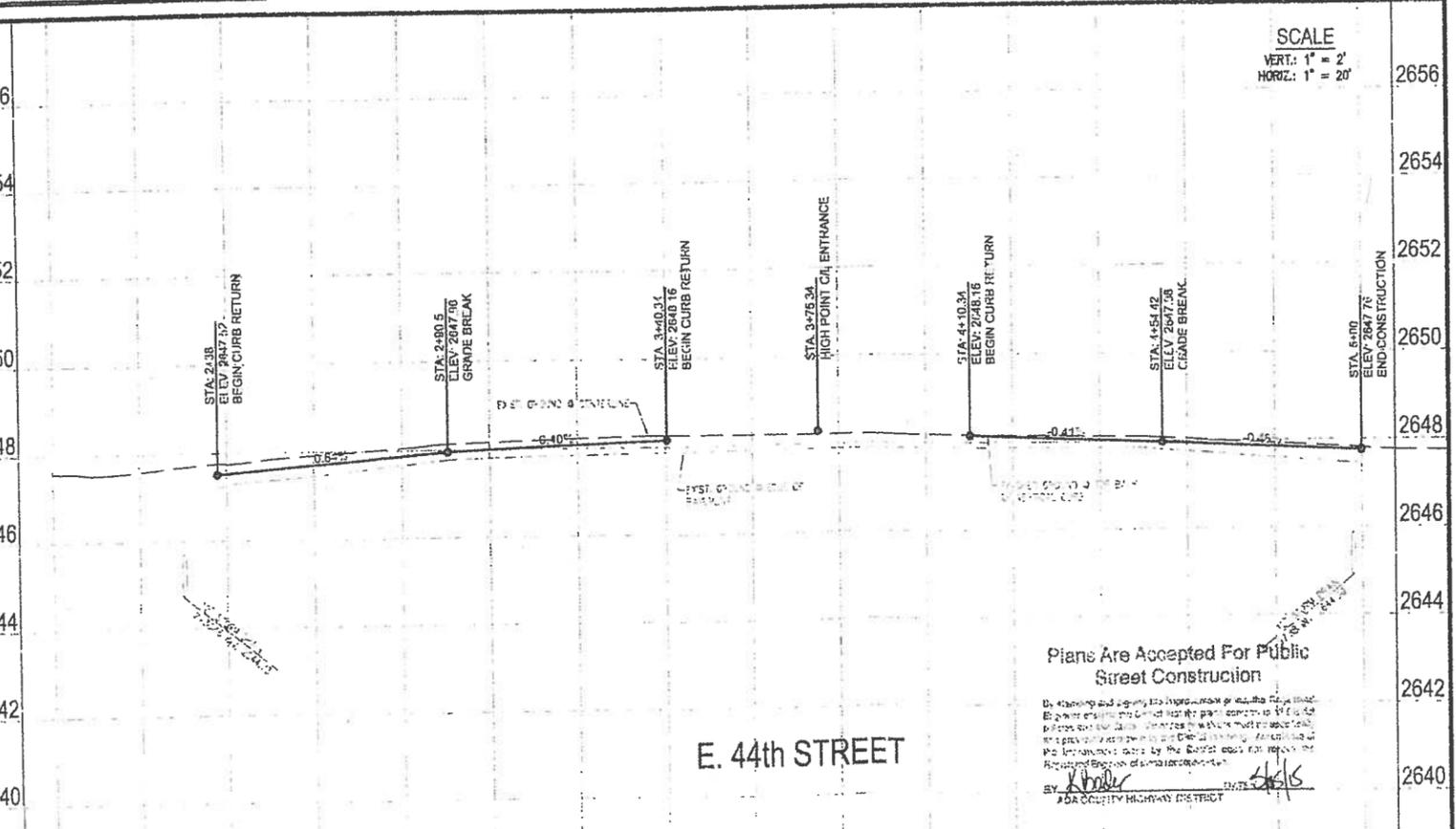


CALL BEFORE YOU DIG!
CALL DIGLINE INC.
PRIOR TO COMMENCING
UNDERGROUND WORK
208-342-1585



NAVD 88 DATUM

SCALE
VERT: 1" = 2'
HORIZ: 1" = 20'



Plans Are Accepted For Public
Street Construction

By: *[Signature]*
FOR ADA COUNTY HIGHWAY DISTRICT

Revisions	Description
1	
2	
3	
4	

ROCK SOLID CIVIL
Civil Engineering and Land Development Consulting
770 N. 27th Street, Suite C Boise, ID 83702
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RACE SHOP
STREET PLAN & PROFILE

Stamp: PROFESSIONAL ENGINEER
JIM E. COSLETT
STATE OF IDAHO
0692

Project No. RSC-1501
Drawn By: RLC
Date: April 27, 2015
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