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MAY 05 2016

GARDEN CITY



3 VIEW FROM EAST
SCALE: 1/8" = 1'-0"



4 VIEW FROM NORTH
SCALE: 1/8" = 1'-0"



2 VIEW FROM SOUTH
SCALE: 1/8" = 1'-0"



1 VIEW FROM WEST
SCALE: 1/8" = 1'-0"

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CONSTRUCTION

revisions
05/05/2016 DR COMMENTS

J'S ULTIMATE HAND CAR WASH
GARDEN CITY, IDAHO
3756 E. CHINDEN BOULEVARD
GARDEN CITY, IDAHO

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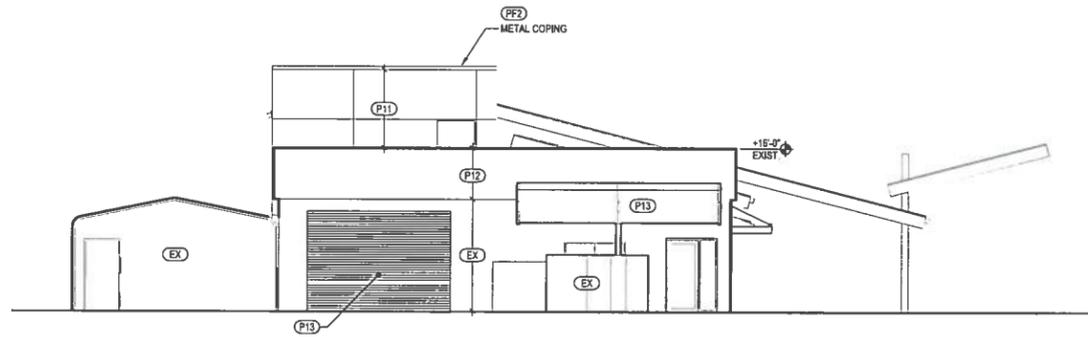
sheet title
PERSPECTIVE ELEVATIONS

sheet number
A2.1

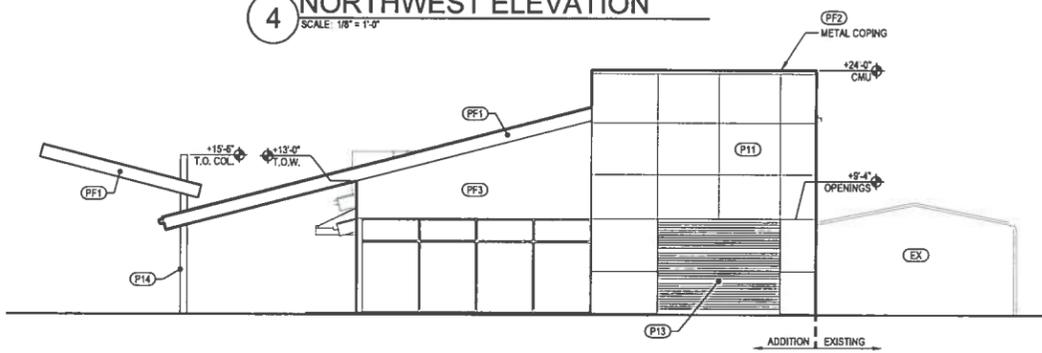
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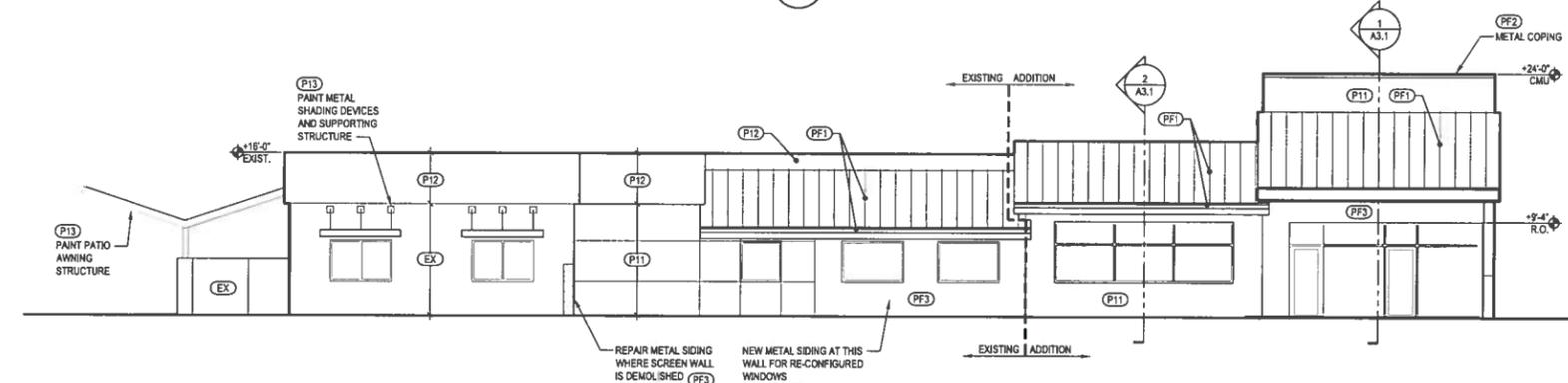
FINISH SCHEDULE		
P11	STUCCO PAINT: MEDIUM GRAY	TEXTURED COATING AS MANUFACTURED BY TEX-COTE XL 70
P12	METAL WALL PANEL PAINT: DARK BRONZE	PROVIDE SHERWIN WILLIAMS DTM ACRYLIC COATING OR ARCHITECT APPROVED EQUIVALENT TO MATCH STOREFRONT FRAMING
P13	STEEL PAINT: ORANGE	PROVIDE SHERWIN WILLIAMS DTM ACRYLIC COATING OR ARCHITECT APPROVED EQUIVALENT TO MATCH PF1
P14	STEEL PAINT: MEDIUM GRAY	PROVIDE SHERWIN WILLIAMS DTM ACRYLIC COATING OR ARCHITECT APPROVED EQUIVALENT TO MATCH P11
PF1	PREFINISHED METAL - COLOR 1: ORANGE	22 GAUGE; MBCI CUSTOM HARLEY DAVIDSON ORANGE
PF2	PREFINISHED METAL - COLOR 2: DARK BRONZE	22 GAUGE; MBCI MIDNIGHT BRONZE
PF3	PREFINISHED METAL - COLOR 3: SILVER	22 GAUGE; SILVER METALLIC TO MATCH EXISTING SIDING
EX	EXISTING FINISH TO REMAIN	PROFESSIONALLY WASH EXISTING SURFACES TO REMAIN



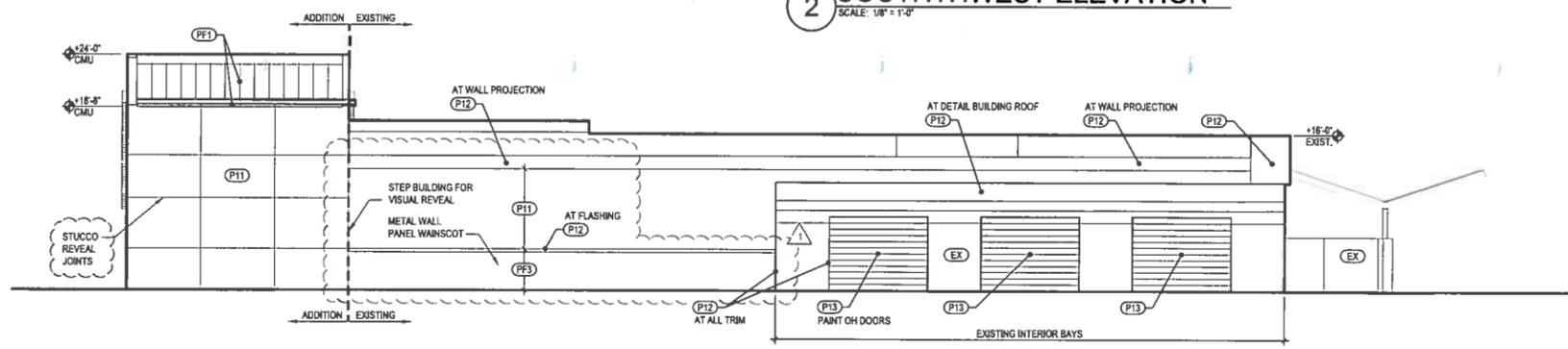
4 NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



2 SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



1 NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"

- GENERAL NOTES**
- POWER WASH EXISTING BUILDING SURFACES THAT WILL RECEIVE NEW PAINT FINISH.
 - ALL SURFACES RECEIVING NEW COATINGS SHALL BE CLEANED AND PREPARED FOR NEW FINISHES PER MANUFACTURER'S WRITTEN INSTRUCTIONS FOR VARIOUS SUBSTRATES INDICATED. WHEN PRINTED MATERIALS ARE NOT AVAILABLE, CONTRACTOR SHALL CLEAN AND PREPARE SURFACES PER WRITTEN INDUSTRY STANDARDS.
 - AT ALL WALLS, REMOVE DIRT, DUST, EFFLORESCENCE, MOLD AND MILDEW IF PRESENT, LOOSE MORTAR, AND ALL OTHER CONTAMINANTS FROM THE SURFACE OF THE BLOCK THAT COULD POTENTIALLY CAUSE THE PAINT OR COATING TO LOSE ADHESION FROM THE SUBSTRATE.
 - PAINT ALL EXTERIOR METAL PANEL SURFACES, METAL FASCIA AND RAKE END FLASHING, GUTTERS, DOWNSPOUTS, EXPOSED FLASHING AND OTHER PREFINISHED METAL SURFACES ON BUILDING AND INTERIOR DETAIL STRUCTURE THAT NOT CONCEALED BY NEW MATERIALS. NOT ALL METAL SURFACE BUILDING ELEMENTS ARE INDIVIDUALLY ILLUSTRATED. CONTRACTOR TO SURVEY SITE TO IDENTIFY MISCELLANEOUS METAL BUILDING ELEMENTS TO RECEIVE PAINT.
 - DO NOT PAINT CLEAR NATURAL FINISH METAL PANELS.
 - DO NOT PAINT METAL ROOF PANELS.
 - PAINT STUCCO SURFACES NOT CONCEALED BY NEW MATERIALS.
 - PAINT ALL EXISTING OVERHEAD DOORS AND STEEL PERIMETER FRAMES.
 - DO NOT PAINT METERS, ELECTRICAL PANELS, WALL MOUNTED FIXTURES AND OTHER PRE-EXISTING WALL MOUNTED DEVICES AND OTHER ITEMS. WHEN ANY OF THESE ITEMS HAVE BEEN PAINTED TO MATCH EXISTING SURFACES CONTRACTOR SHALL PAINT THEM TO MATCH NEW ADJACENT FINISHES.
 - PROVIDE STUCCO EXPANSION JOINTS AS ILLUSTRATED BUT NOT LESS THAT THE QUANTITY & SPACING AS RECOMMENDED IN MANUFACTURER'S PUBLISHED LITERATURE.
 - PROVIDE PREFINISHED METAL HEAD AND SILL FLASHING WITH HEMMED DRIP EDGE AT ALL NEW WALL OPENINGS.
 - PROVIDE SEALANT AT ALL FLASHINGS AND WHERE TRANSITION OF MATERIALS OCCUR AT NEW CONSTRUCTION.

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A 05/05/2016: DR COMMENTS

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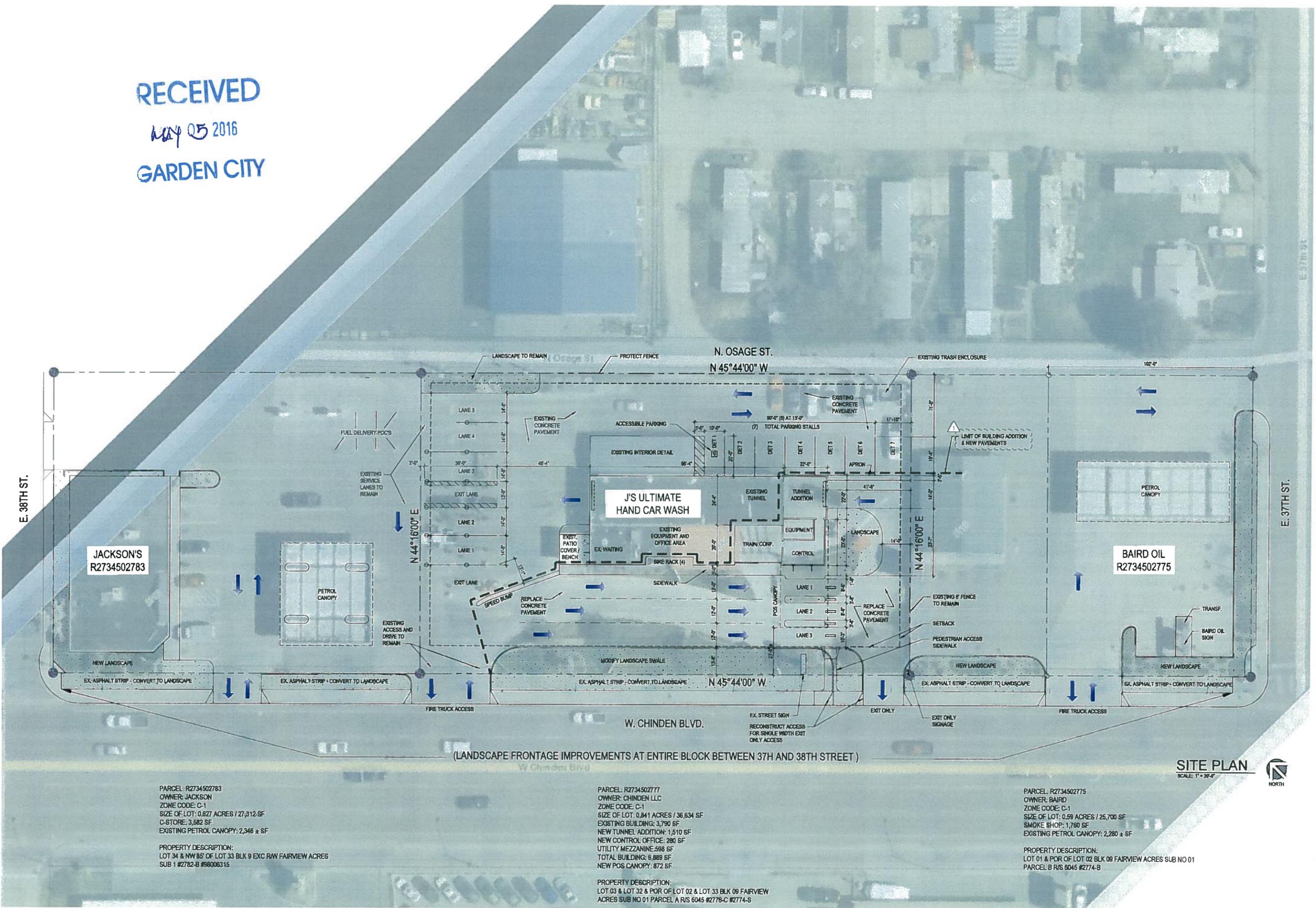
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BUILDING ELEVATIONS
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(LANDSCAPE FRONTAGE IMPROVEMENTS AT ENTIRE BLOCK BETWEEN 37H AND 38TH STREET)

SITE PLAN
 SCALE: 1" = 20'-0"

PARCEL: R2734502783
 OWNER: JACKSON
 ZONE CODE: C-1
 SIZE OF LOT: 0.627 ACRES / 27,312 SF
 C-STORY: 3,682 SF
 EXISTING PETROL CANOPY: 2,346 ± SF
 PROPERTY DESCRIPTION:
 LOT 34 & NW 85' OF LOT 33 BLK 9 EXC R/W FAIRVIEW ACRES
 SUB 1 #2782-B #98006315

PARCEL: R2734502777
 OWNER: CHINDEN LLC
 ZONE CODE: C-1
 SIZE OF LOT: 0.841 ACRES / 36,634 SF
 EXISTING BUILDING: 3,790 SF
 NEW TUNNEL ADDITION: 1,510 SF
 NEW CONTROL OFFICE: 280 SF
 UTILITY MEZZANINE: 598 SF
 TOTAL BUILDING: 6,889 SF
 NEW POS CANOPY: 872 SF
 PROPERTY DESCRIPTION:
 LOT 03 & LOT 32 & POR OF LOT 02 & LOT 33 BLK 09 FAIRVIEW
 ACRES SUB NO 01 PARCEL A R/S 6045 #2776-C #2774-S

PARCEL: R2734502775
 OWNER: BAIRD
 ZONE CODE: C-1
 SIZE OF LOT: 0.59 ACRES / 25,700 SF
 SMOKE SHOP: 1,760 SF
 EXISTING PETROL CANOPY: 2,280 ± SF
 PROPERTY DESCRIPTION:
 LOT 01 & POR OF LOT 02 BLK 09 FAIRVIEW ACRES SUB NO 01
 PARCEL B R/S 6045 #2774-B

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 3756 E. CHINDEN BOULEVARD
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SITE PLAN

sheet number:
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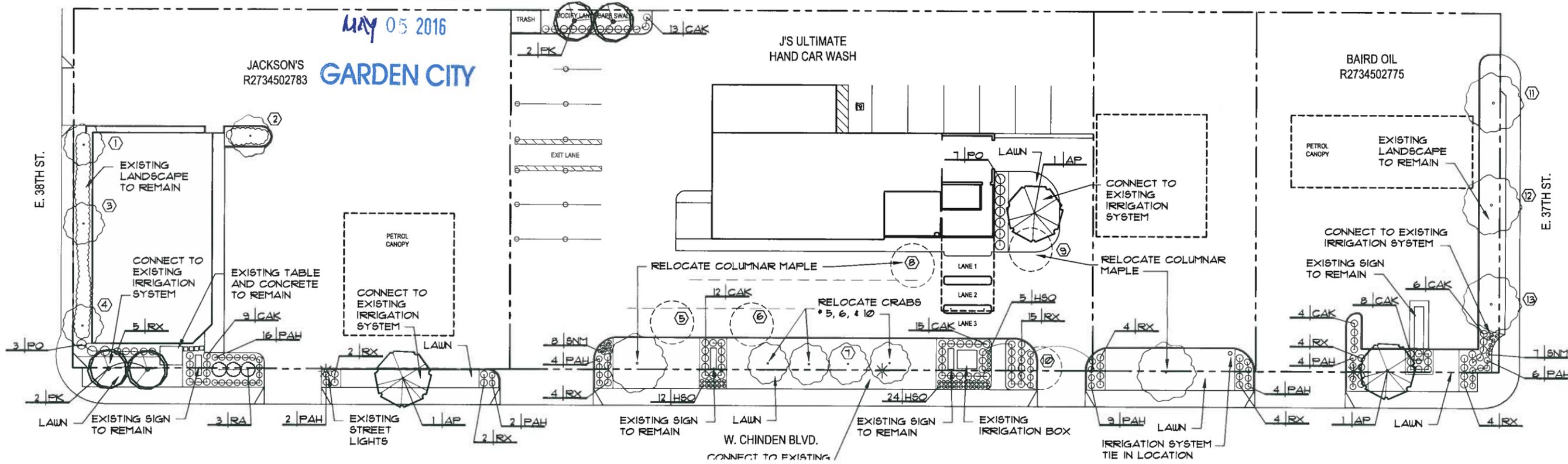
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GARDEN CITY

JACKSON'S R2734502783

N. OSAGE ST.



LANDSCAPE PLAN

SCALE: 1" = 20'-0"



South
 LANDSCAPE ARCHITECTURE, P.C.
 2002 S. VISTA AVE.
 BOISE, IDAHO 83705
 (208) 342-2999
 FAX (208) 342-2993

PLANTING NOTES

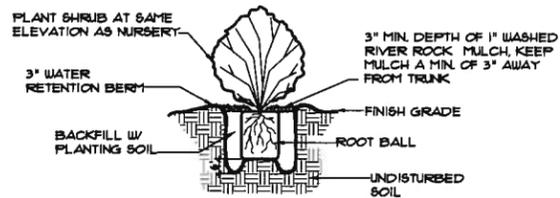
- All plant material shall conform to the American Nurseryman Standards for type and size shown. Plants will be rejected if not in a sound and healthy condition.
- All lawn areas shall be sodded with 100% Dwarf Turf Type Tall Fescue.
- All sodded areas shall have 6" of topsoil and all planting beds shall have 18" of topsoil.
- All planting beds and tree wells in lawn areas (wells to be 3' in diameter) shall be covered with a minimum of 3" of small (1/4" washed River Rock Mulch. Submit sample for approval by owner.
- All plant material shall be guaranteed for a period of one year beginning at the date of acceptance by Owner. Replace all plant material found dead or not in a healthy condition immediately with the same size and species at no cost to the Owner.
- Planting back fill for trees and planting beds shall be 5 parts topsoil and 1 part compost. Stake all trees per details.
- Topsoil shall be a loose, friable, sandy loam, clean and free of toxic materials, noxious weeds, seed, rocks, grass, or other foreign material larger than 1" in any dimension, a pH from 5.5 to 7.0. Top soil from site shall be used, if meeting these standards. Place 1" compost over all planter areas and rototill into top 4". Spread, compact, and fine grade topsoil to a smooth and uniform grade, 1" below surface of walks and curbs in areas to be sodded and 3" in planting bed areas.
- Fertilize all trees and shrubs with 'Agriform' planting tablets, 21 gram. Quantity per manufacturer's recommendation.
- Plant material shall not be substituted without the written permission of Owner. Submit names of three suppliers contacted if substitution is requested and plant material specified is not available.
- Immediately clean up any topsoil, or other debris on site created from landscape operation and dispose of properly off site.
- All landscaped areas shall be irrigated with an automatic underground sprinkler system.

EXISTING TREES

- | | |
|--------------------------------|-------------------------------------|
| ① 8" Flowering Pear to remain | ⑤ 8" Columnar Maple to be relocated |
| ② 6" Flowering Pear to remain | ⑥ 8" Columnar Maple to be relocated |
| ③ 8" Flowering Pear to remain | ⑩ 8" Crab to be relocated |
| ④ 10" Flowering Pear to remain | ⑪ 10" Maple to remain |
| ⑤ 8" Crab to be relocated | ⑫ 10" Maple to remain |
| ⑥ 12" Crab to be relocated | ⑬ 10" Maple to remain |
| ⑦ 12" Crab to remain | |

PLANT SCHEDULE

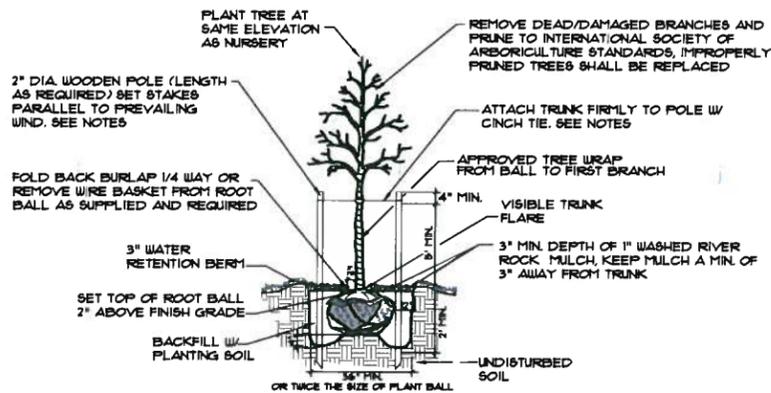
KEY	BOTANICAL NAME COMMON NAME	PLANTING SIZE
TREES		
AP	Acer platanoides 'Columnarbroed' Parkway Maple	3" B&B
PK	Prunus cerasifera 'Krauter Vesuvius' Krauter Vesuvius Plum	3" B&B
SHRUBS		
PO	Physocarpus opulifolius 'Summertime' Summertime Ninebark	5 Gal.
RA	Rhus aromatica 'Grow Low' Grow Low Sumac	5 Gal.
RX	Rosa x 'Chateau Merlot' Merlot Flowering Carpet Rose	2 Gal.
GROUND COVERS/ PERENNIALS/GRASSES		
CAK	Calamagrostis x acutiflora 'Karl Forester' Karl Forester Grass	1 Gal.
HBO	Hemerocallis x 'Stella de Oro' Stella de Oro Daylily	1 Gal.
PAH	Pennisetum alopecuroides 'Hamen' Dwarf Fountain Grass	1 Gal.
SNM	Salvia nemorosa 'May Night' May Night Salvia	1 Gal.



NOTE - DIG HOLE TWICE THE SIZE OF ROOT BALL

SHRUB PLANTING DETAIL

NO SCALE



NOTES:

- THE STAKING OF TREES IS TO BE THE CONTRACTOR'S OPTION HOWEVER, THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL TREES ARE PLANTED STRAIGHT AND THAT THEY REMAIN STRAIGHT FOR THE TERM OF THE WARRANTY.
- WRAP RUBBER CINCH TIE (OR APPROVED EQUAL) AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT MOVEMENT.
- WATER IN BACKFILL BELOW THE ROOT BALL PRIOR TO SETTING TREE (TO INSURE NO SETTLING WILL OCCUR).
- DEEP SOAK TREE TWICE WITHIN THE FIRST 48 HOURS.

DECIDUOUS TREE PLANTING DETAIL

NO SCALE

STATE OF IDAHO
 LANDSCAPE ARCHITECTURE
 LICENSE NO. 18614
 J. HOWA DESIGN, INC.

3756 E. CHINDEN BOULEVARD
 GARDEN CITY, IDAHO

J'S ULTIMATE HAND CAR WASH
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LANDSCAPE PLAN

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