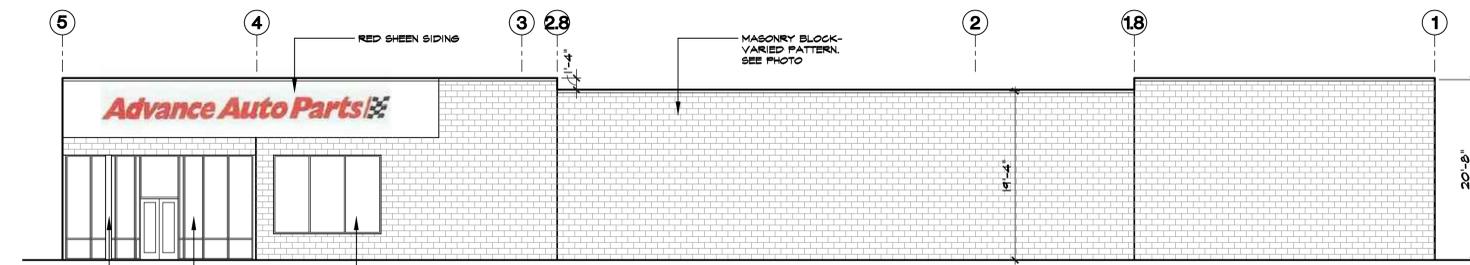


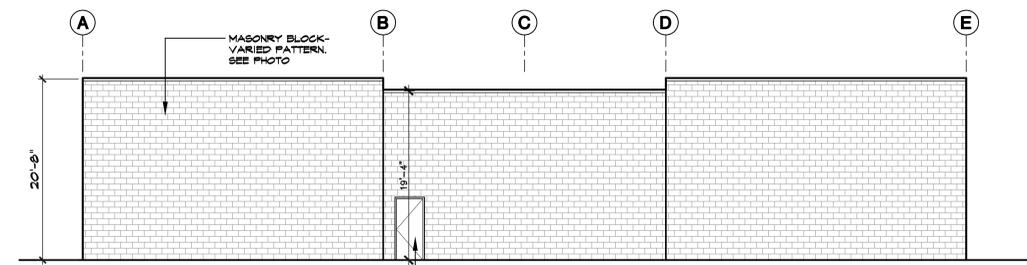
**FLOOR PLAN**

1/8"=1'-0"



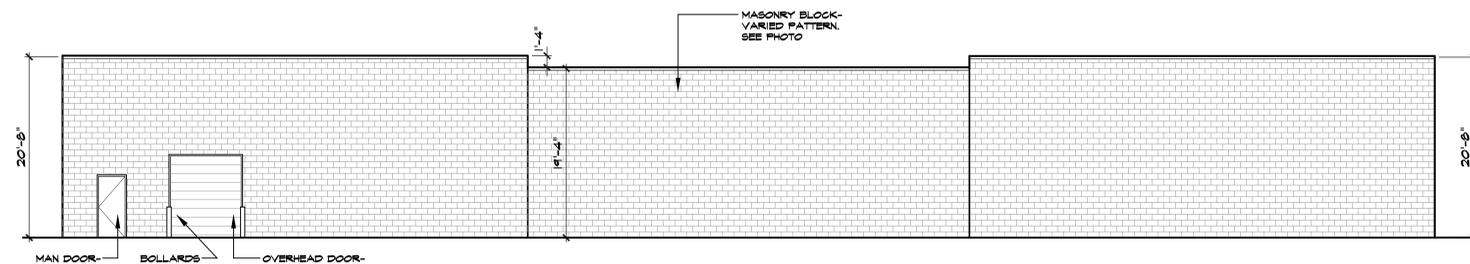
**NORTH EXTERIOR ELEVATION**

1/8"=1'-0"



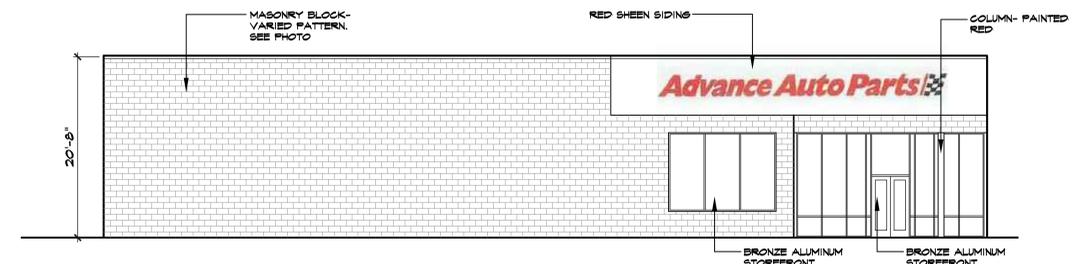
**WEST EXTERIOR ELEVATION**

1/8"=1'-0"



**SOUTH EXTERIOR ELEVATION**

1/8"=1'-0"



**EAST EXTERIOR ELEVATION**

1/8"=1'-0"



**Larson Architects, P.A.**

Architecture and Real Estate Planning  
210 Murray Street  
Boise, Idaho 83714  
(208) 376-7502

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PROJECT NAME

**A NEW WAREHOUSE FOR  
ADVANCE AUTO PARTS  
4379 W. CHINDEN BLVD.  
GARDEN CITY, IDAHO 83714**

REVISIONS

DRAWN BY  
**RSD**

DATE  
**8-25-16**

SHEET NUMBER

**A-1**

***Larson Architects, P. A.***  
*Architecture and Real Estate Planning*  
**210 Murray Street, Boise, Idaho 83714**  
**Phone: (208) 376-7502 Fax: (208) 658-0224**

August 25, 2016

Ms. Erika Akin  
Garden City- Planning and Zoning Department  
6015 N. Glenwood Street  
Garden City, Idaho 83714

***RE: 4379 W. Chinden Blvd.- Advance Auto Parts Compliance Statement***

Dear Erika:

We are submitting the attached design review application for a new Advance Auto Parts retail store located at 4379 W. Chinden Blvd. The property is located in a C-2 zone, and has been established as a retail use by the Garden City planning department. This use requires a design review submittal within the C-2 zone.

The new building entrance and access will need to be located at the northeast corner directly next to the new parking lot. The zoning ordinance requires that the maximum front setback is fifteen feet (15') from curb edge for a minimum of sixty percent (60%) of the length of the street frontage. The current design locates the north building façade at 8' off of the property line. The east property line requires a 5' setback, and the building is currently located at 10' off of the property line.

Any existing asphalt on the site will be removed, and the site will be re-graded and paved to retain onsite rainwater, utilizing a sub-grade filtration under the new parking lot. New landscaping will be provided along Chinden and Stockton, with internal parking lot landscaping. Parking is currently at 49 spaces, which is adequate for this type of retail use. Handicap parking is shown as required by code.

Landscaping is currently shown at 15% coverage of the site, better than the 10% required by the Garden City zoning ordinance. Curb and gutter is not required along Chinden, but a 7' sidewalk is required, and is currently shown on our site and landscape plans. Curb and gutter were required by ACHD along 44<sup>th</sup> and Stockton. No increase in R.O.W. was required by ACHD, and they did not require the relocation of power poles.

We are requesting to provide landscape along 44<sup>th</sup> in place of new sidewalk. Per Garden City's Sidewalk Policy document, new sidewalk is not required where property is at a dead end and there is no possibility for a future extension of a roadway and is not a part of an existing or planned connection to the Greenbelt, a pathway, part of a cul-de-sac, or other amenity that may be utilized by the public.

Please give me a call if you have any additional questions.

Sincerely,

*Ryan Drew*

Ryan Drew

***Larson Architects, P. A.***  
*Architecture and Real Estate Planning*  
**210 Murray Street, Boise, Idaho 83714**  
**Phone: (208) 376-7502 Fax: (208) 658-0224**

August 25, 2016

Ms. Erika Akin  
Garden City- Planning and Zoning Department  
6015 N. Glenwood Street  
Garden City, Idaho 83714

***RE: 4379 W. Chinden Blvd.- Advance AutoParts Summary Letter***

Dear Erika:

We are submitting the attached design review application for a new Advance Auto Parts store located at 4379 Chinden Blvd. The new building will provide automotive parts retail and have automotive parts storage.

The existing lot is bare, with some existing asphalt, one shrub, and an existing sign on Chinden. The existing parking lot will be re-graded and paved to retain onsite rainwater, utilizing a sub-grade filtration under the new parking lot. New landscaping will be provided per current zoning requirements. Per Garden City requirements, a new 7ø-0ö sidewalk will be provided along Chinden with a 9ø-0ö buffer of river rock mulch. A 6ö extruded curb will separate this mulch buffer from the roadway asphalt. New curb and gutter will be provided along 44<sup>th</sup> street, with landscaping.

The building will be constructed of masonry CMU block, with varying colors and textures of brown block to give visual interest. We have included a reference photo of the CMU block pattern/color that we are proposing for this building. Parapets with metal cap flashing will conceal the roof top units on the roof. A glossy-red exterior grade façade will be used behind the Advance Auto Parts signage. The corner at the entry is clipped at a 45 degree angle, with the signage element coming out to a right angle creating a soffit above the entry. The exterior walls of the building will have recessed areas to create shadow lines and provide more articulation of these walls.

Please give me a call if you have any additional questions.

Sincerely,

*Ryan Drew*

Ryan Drew

**SUBWAY**

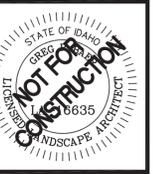


OPEN





**BAER** DESIGN GROUP, LLC  
 539 S. Fitness Place, Ste 120  
 Eagle, ID 83616  
 Ph. 208.938.7721



Advanced Auto Parts  
 Garden City, Idaho

4379 W. Chinden Blvd

Landscape Plan

Project No.:	16043
Drawn by:	JL
Checked by:	GB
Date:	08/24/2016
Sheet No.:	L1.0

**LANDSCAPE LEGEND:**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HxW
<b>CLASS I DECIDUOUS TREES</b>				
MC	Malus 'Coralburst'	Coralburst Crabapple	2" CAL. B&B	10' x 12'
PC	Pyrus calleryana 'Capital'	Capital Flowering Pear	2" CAL. B&B	35' x 15'
PCN	Prunus cerasifera 'Newport'	Newport Plum	2" CAL. B&B	20' x 15'
<b>CLASS II DECIDUOUS TREES</b>				
AP	Acer platanoides 'Royal Red'	Royal Red Maple	2" CAL. B&B	35' x 25'
GT	Gleditsia triacanthos var. inermis 'Skycole'	Skyline Honeylocust	2" CAL. B&B	45' x 30'
<b>CONIFEROUS TREES</b>				
CD	Cedrus deodara 'Karl Fuchs'	Karl Fuchs Himalayan Cedar	6'-7" B&B	12' x 4'
<b>SHRUBS &amp; PERENNIALS</b>				
BT	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	2 GALLON	2' x 3'
CA	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	1 GALLON	4' x 2'
HE	Heuchera 'Blackout'	Blackout Coral Bells	1 GALLON	1' x 1.5'
HHR	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 GALLON	1.5' x 1.5'
HO	Hosta x 'Fire and Ice'	Fire and Ice Hosta	1 GALLON	1' x 2'
JS	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	5-6" B&B	12' x 2'
LA	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender	1 GALLON	3' x 3'
MR	Mahonia repens	Creeping Mahonia	1 GALLON	2' x 3'
PA	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 GALLON	2' x 2'
PM	Pinus mugo 'Mops'	Mops Mugo Pine	5 GALLON	3' x 3'



**LANDSCAPE NOTES:**

- Prior to construction start-up, coordinate work schedule and observations with Landscape Architect.
- Report all conditions which impair or prevent the proper execution of this work to Landscape Architect, prior to construction.
- Contractor shall verify all utility locations prior to construction operations. Any damage to utilities shall be contractor's responsibility.
- Contractor shall repair any areas disturbed by construction back to pre-construction conditions.
- All plant material shall be installed as per details this sheet.
- No substitutions will be allowed without consent from the Landscape Architect.
- Contractor shall stake all trees necessary to prevent them from being blown over.
- All plant material shall conform to the American Nurseryman standards and will be rejected if in unhealthy condition.
- All plant material shall be guaranteed for one year after the date of acceptance by owner. Contractor shall replace all plant material found dead or unhealthy immediately with the same size and species at no cost to the owner.
- Fertilize all trees with 'Agriform' planting tablets. Follow manufacturer's recommendations.
- All topsoil to be amended at a ratio of 3 cu. yds. of organic matter per 1000 sq. ft. Roto-till organic matter into the top 6 inches of topsoil.
- All shrub beds shall have a min 18 inches of topsoil. Spread, compact and fine grade smoothly to 3 inches below the surface of walkways and curbs.
- Finish grades are to be smooth with positive drainage in accordance with the grading plan.
- Topsoil shall be a loose, friable, sandy loam, clean and free of rocks (larger than 2 inches), weeds, roots, grass, or other foreign material that is harmful to plant growth. Topsoil shall have a pH of 5.5 to 7.0.
- Where possible, re-use existing surface topsoil from site. Verify topsoil will meet the requirements and amend as necessary. Import when existing topsoil quantities are insufficient.
- If importing topsoil from offsite, obtain from local sources that have similar soil characteristics to the project site. New topsoil must be fertile, friable, natural loam, reasonably free of subsoil, clay clumps, weeds, roots, stones larger than 1 inch. Representative samples shall be tested for acidity, fertility and general texture. Copies of the testing agency's findings and recommendations shall be submitted to the Landscape Architect.
- Contractor is responsible for the immediate clean up of any topsoil or other debris on site created from landscape construction operations.
- All mulch shall be min. 3" depth small chunk bark mulch.
- Shrub bed areas shall be drip irrigation. Coordinate planting with irrigation contractor.
- Contractor shall provide an automatic subsurface irrigation system to provide 100% coverage to all landscaping on site.

**LANDSCAPE REQUIREMENTS:**

Per Garden City Code; Title 8 - Development Code, Chapter 4 Design and Development Regulations, Article 1 Landscaping and Tree Protection Provisions.

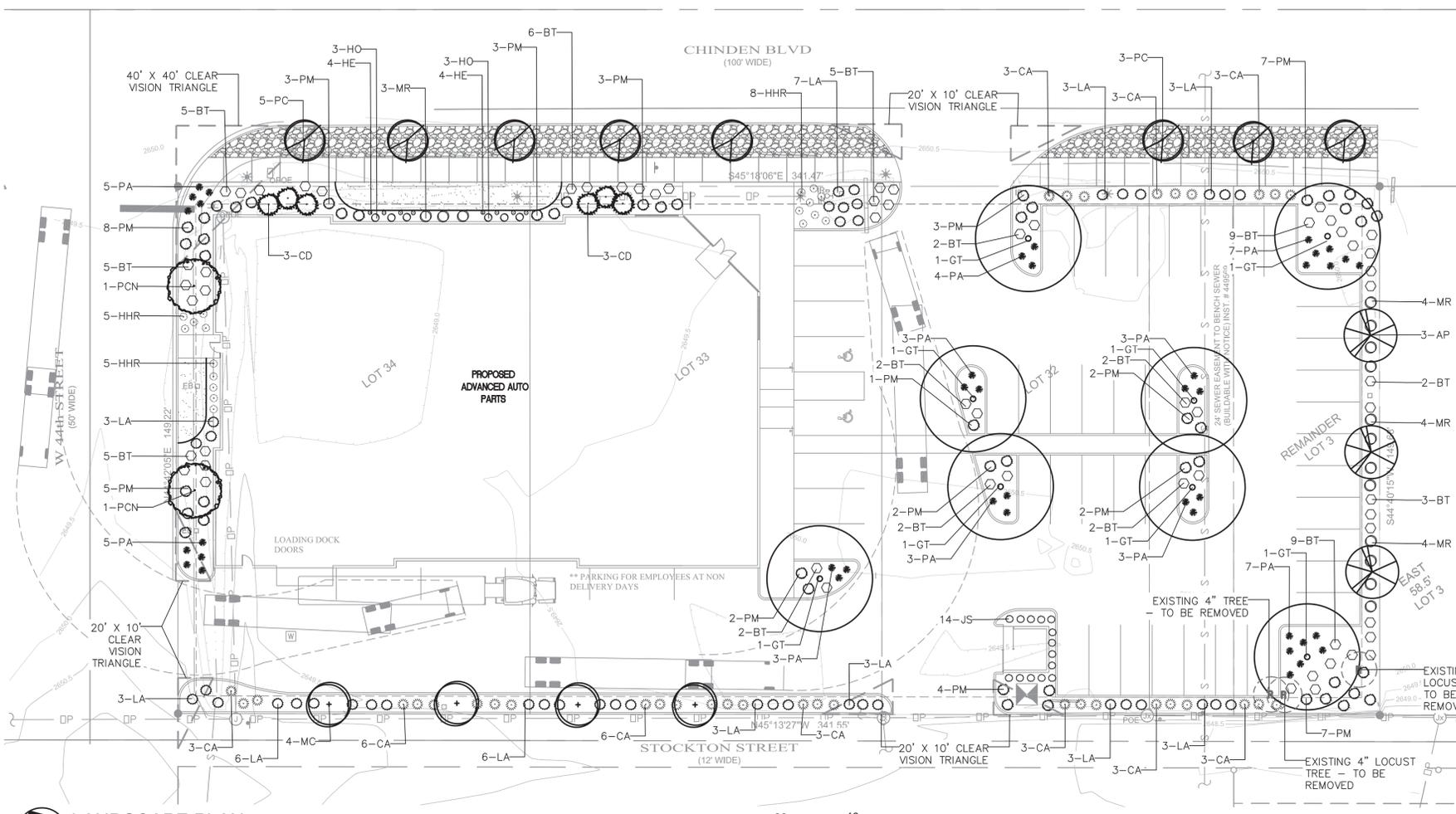
AREA	REQUIREMENT	MEASUREMENT	REQUIRED	PROVIDED
NONRESIDENTIAL USE LANDSCAPE AREA	Minimum of one tree per one thousand (1,000) square feet of landscaped area and one shrub per one hundred fifty (150) square feet of landscape area.	2140 SQ FT	2 trees & 6 trees***	14 shrubs 40 shrubs***
BUILDING FRONTAGE	One Class II or II tree in the frontage & adjacent street side. An additional Class I tree for every 50 linear feet increment of frontage.			
Chinden Blvd		155 FT	4 trees	8 trees*
44th Street		100 FT	3 trees	2 trees* 43 shrubs***
PERIMETER LANDSCAPE	One tree/ every 15 linear feet of perimeter length			
Southwest Perimeter		342 FT	23 trees	4 trees** 55 shrubs***
Southeast Perimeter		150 FT	10 trees	3 trees** 23 shrubs***
INTERIOR PARKING LOT	One shade tree every 5 parking spaces supplied	45 spaces	9 trees	8 trees** 133 shrubs***

\*TWO CLASS I TREES SUBSTITUTED FOR ONE REQUIRED CLASS II TREE PER CITY CODE 8-41-4-B5.  
 \*\*TREE REQUIREMENTS NOT SATISFIED, SEE NOTE BELOW.  
 \*\*\*ADDITIONAL SHRUBS LOCATED THROUGHOUT THE SITE FOR TREE QUANTITY SUBSTITUTIONS. SEE PROPOSED LANDSCAPE SUBSTITUTION.

**TREE MITIGATION REQUIREMENTS:**

Per Garden City Code; Title 8 - Development Code, Chapter 4 Design and Development Regulations, Article 1 Landscaping and Tree Protection Provisions, Section 7 Tree Preservation Provisions, Subsection C Standards, Paragraph 5b: "Mitigation shall be replacement of total calipers lost on site up to an amount of one hundred (100%) replacement."

CALIPER & TREE TO BE REMOVED	CALIPER & TREE REPLACEMENT
(3) 4" Locust Trees	(3) 2" Pear Trees (3) 6'-7" Cedar Trees
Total Caliper Inches Removed = 12"	Total Caliper Inches Replaced = 12"



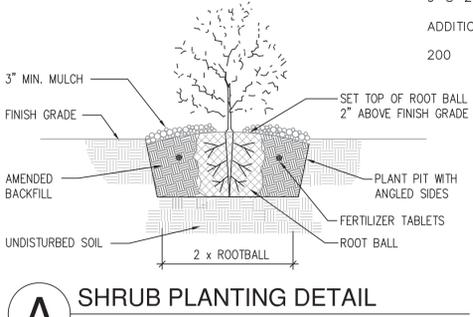
**LANDSCAPE PLAN**



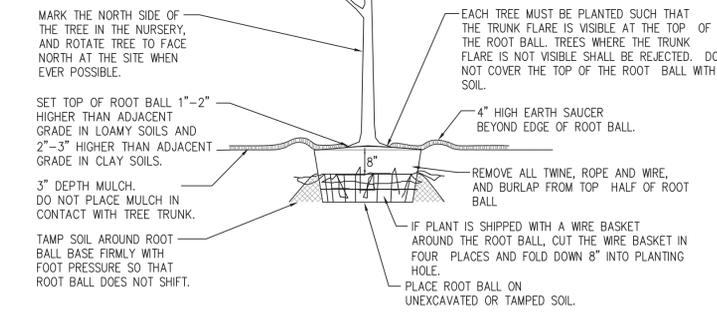
**PROPOSED LANDSCAPE SUBSTITUTION**

Per Garden City Code; Title 8 - Development Code, Chapter 4 Design and Development Regulations, Article 1 Landscaping and Tree Protection Provisions, 8-41-4 Section B Paragraph 4: "Trees may be substituted for up to one-half (1/2) of the required shrubs at the rate of one tree for ten (10) shrubs and vice versa. (Ord. 898-08, 9-8-2008; amd. Ord. 944-12, 5-14-2012)"

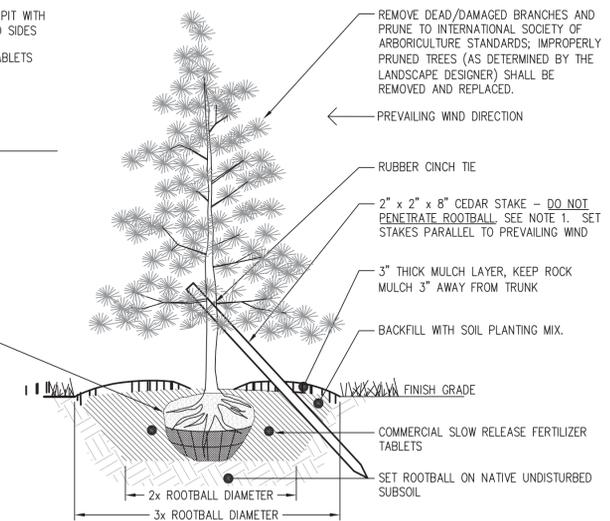
ADDITIONAL SHRUBS PROVIDED	TREE DEDUCTION ALLOWANCE	TOTAL TREES DEDUCTED
200	20	20



**A SHRUB PLANTING DETAIL**



**B TREE PLANTING DETAIL**



**C CONIFER TREE PLANTING AND STAKING DETAIL**

- NOTES:**
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN AND DEAD BRANCHES. DO NOT PRUNE TERMINAL BUDS OF BRANCHES EXTENDING TO THE CROWN.
  - WRAP TREE TRUNKS ONLY UPON APPROVAL OF THE LANDSCAPE DESIGNER.
  - STAKE TREES AS NECESSARY. STAKES MUST BE REMOVED WITHIN 12 MONTHS OF PLANTING.

- NOTES:**
- THE STAKING OF TREES IS TO BE REQUIRED BY THE CONTRACTOR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
  - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
  - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.



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Boise, Idaho 83714  
(208) 376-7502

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PROJECT NAME  
**A NEW BUILDING FOR:  
ADVANCE AUTO PARTS  
4379 W. CHINDEN BOULEVARD  
GARDEN CITY, IDAHO 83714**

REVISIONS

DRAWN BY  
**RSD**

DATE  
**8-25-16**

SHEET NUMBER  
**SP-1**

**SITE DATA**

**PROPERTY DESCRIPTION:**  
LOTS 32, 33, 34 &  
LOT 3 EXC E 38.5' BLK C  
FAIRVIEW ACRES SUB NO 2  
#010-5

**PARCEL #:** R2734510144

**ADDRESS:** 4379 W CHINDEN BLVD GARDEN CITY, ID 83714

**TOTAL LOT SQUARE FOOTAGE:** 51,400 SF (1.18 ACRES)

**TOTAL BUILDING SQUARE FOOTAGE:** 14,990 SF OR 29%

**BASE ZONING DISTRICT:** C-2

**ALLOWED USE:** RETAIL

**BUILDING SETBACKS:** FRONT: 5'-0"  
SIDE: 5'-0"  
REAR: 5'-0"

**REQUIRED PARKING SPACES:** PER PLANNING OFFICIAL  
50

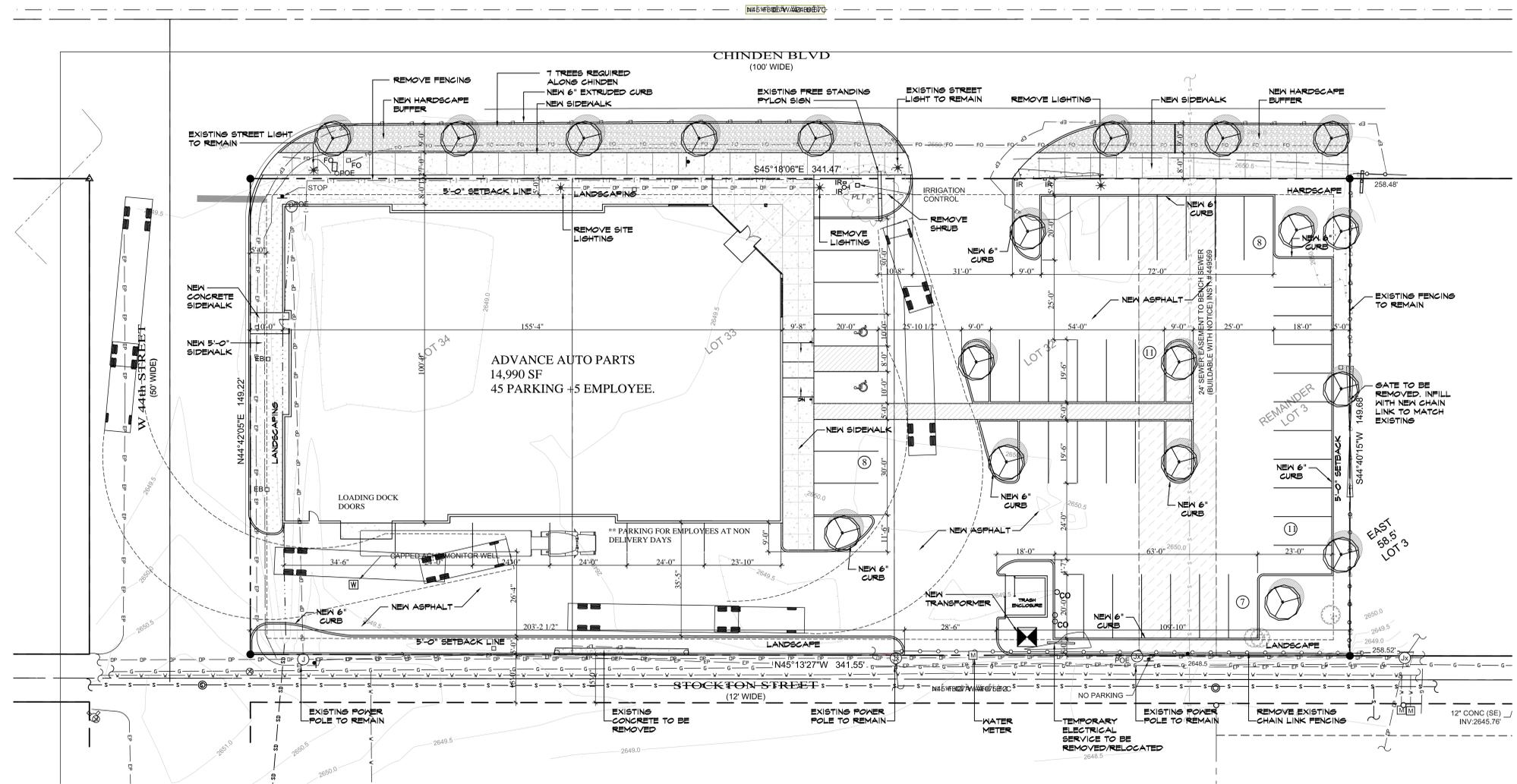
**PROVIDED PARKING SPACES:** 50

**BICYCLE SPACES:** 0- NONE REQUIRED

**IMPERVIOUS SURFACES:** 28,752 SF OR 56%

**PROVIDED LANDSCAPING:** 7,658 SF OR 15%

2300 GPM @ 20 PSI RESIDUAL  
2300 GPM @ 20 PSI RESIDUAL



***Larson Architects, P. A.***  
*Architecture and Real Estate Planning*  
**210 Murray Street, Boise, Idaho 83714**  
**Phone: (208) 376-7502 Fax: (208) 658-0224**

August 25, 2016

Ms. Erika Akin  
Garden City- Planning and Zoning Department  
6015 N. Glenwood Street  
Garden City, Idaho 83714

***RE: 4379 W. Chinden Blvd.- Advance AutoParts Statement of Intent***

Dear Erika:

We are submitting the attached design review application for a new Advance Auto Parts store located at 4379 Chinden Blvd. The new building will provide automotive parts retail and have automotive parts storage. The site will be re-graded to retain on-site water, and asphalt and filtration beds will be installed. Landscape provided per attached landscape plan.

Beyond noise typically generated from customer's vehicles, we don't anticipate any excessive noise or vibration for this project. There will be delivery trucks that will deliver after-hours and at certain times of day, but this is should be expected for this type of retail use. Any building/site lighting will meet any required cut-off requirements specified in the zoning ordinance.

Please give me a call if you have any additional questions.

Sincerely,

*Ryan Drew*

Ryan Drew