

**Larson Architects, P. A.**  
*Architecture and Real Estate Planning*  
**210 Murray Street, Boise, Idaho 83714**  
**Phone: (208) 376-7502 Fax: (208) 658-0224**

September 22, 2016

Ms. Erika Akin  
Garden City- Planning and Zoning Department  
6015 N. Glenwood Street  
Garden City, Idaho 83714

**RE: 4379 W. Chinden Blvd.- Advance Auto Parts Summary Letter**

Dear Erika:

Please see responses to design review comment comments below:

É Detached five foot sidewalk along 44th Street is required by code and to create pedestrian connectivity for the property to the south and circulation around the block itself.

***Response: A 5'-0" sidewalk is now shown on the site plan and landscape plan.***

É No blank walls facing Chinden or 44th: Add windows, architectural features, material changes, etc. to add interest and incorporate human scale elements to the building.

***Response: A steel trellis is now shown on the corner of 44<sup>th</sup> and Chinden. Each building recess now shows a combination of metal panel and siding elements to provide visual interest. Metal panels were added to the southwest and southeast corners of the building.***

É Greater than 50% of the façade requires windows for a retail use.

***Response: Advance Auto will be utilizing all perimeter walls for full height merchandising or parts storage. We request that the proposed features mentioned above will be an acceptable alternative to windows.***

É Consider locating the retail portion of the floor plan to the front along Chinden to create a street presence and true retail feel and maximize fenestration.

***Response: As mentioned above, full height merchandising and parts storage is utilized for every exterior wall. We request that the proposed features mentioned above will be an acceptable alternative to windows.***

É Consider adding variation to the tree species on each street side

***Response: Please see revised landscape plan showing more variation in tree species.***

É Demonstrate compliance with 8-4C-3 A. Objective #1. The design of all structures shall have a scale, massing and urban form that has a relationship to the street, the pedestrian, and adjacent properties.  
6. Wall Plane: Facades should have no wall plane wider than two and one-half times the height of the wall plane. If a new wall plane is required to achieve compliance with this requirement, it must be offset by at least six feet (6ø).

***Response: Wall plane offsets have been increased to 6'-0".***

É To add interest to blank walls, consider art as an option.

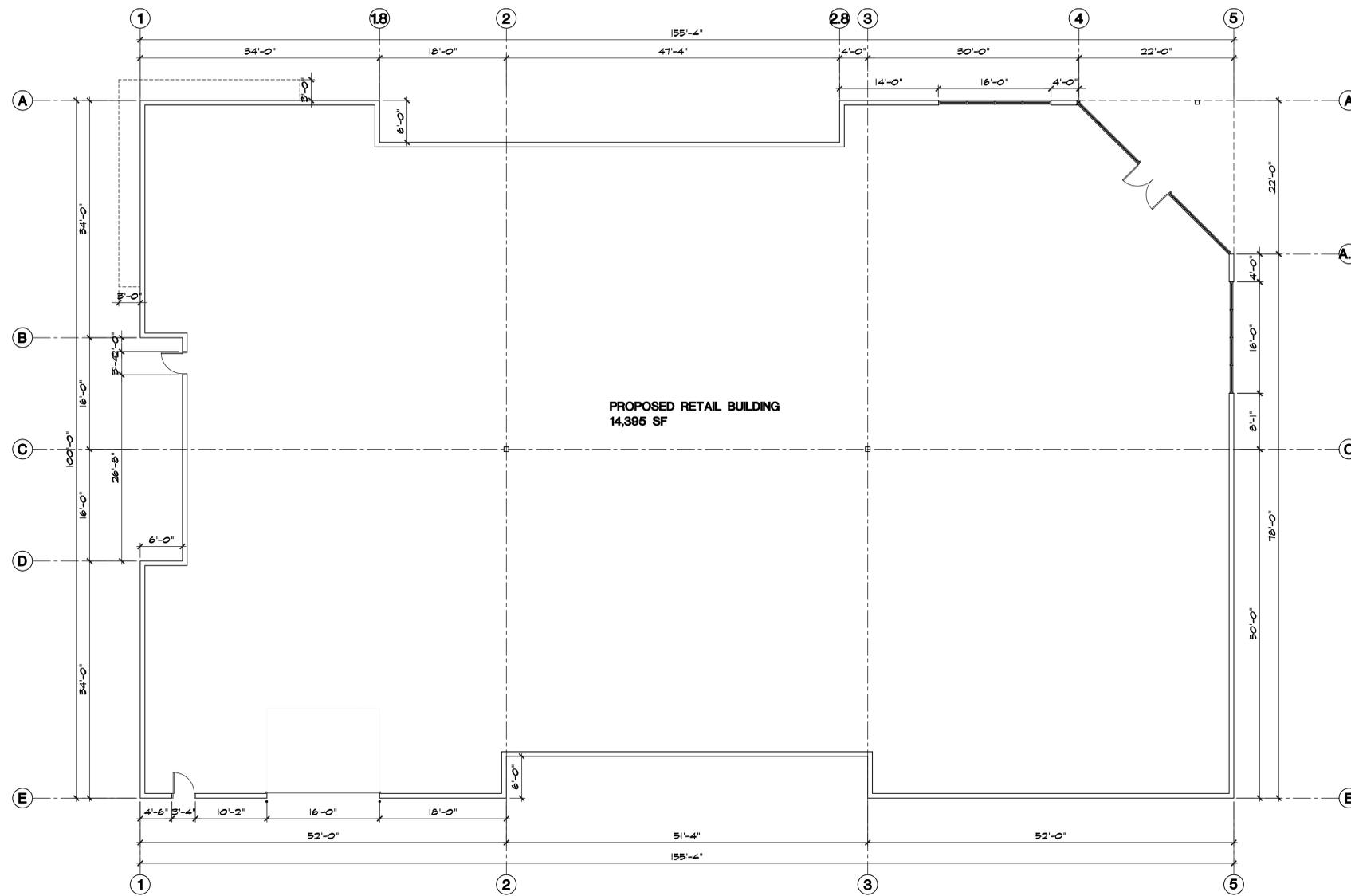
***Response: Per proposed elevations, no blank walls are provided.***

Please give me a call if you have any additional questions.

Sincerely,

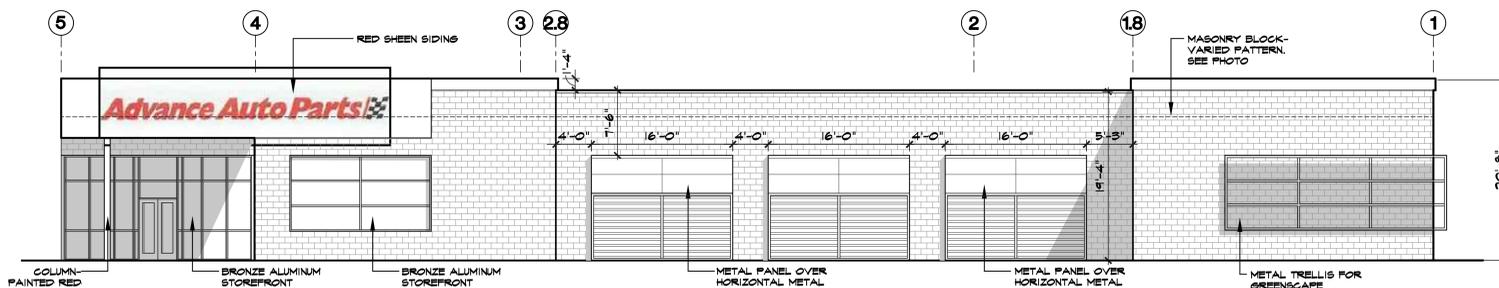
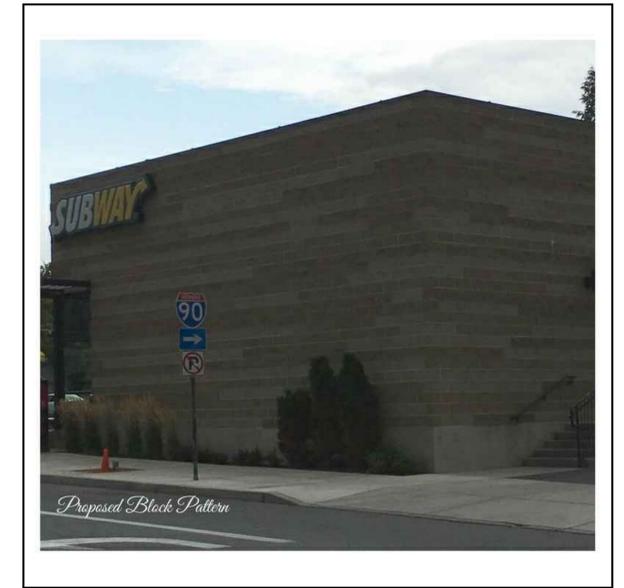
A handwritten signature in cursive script that reads "Ryan Drew".

Ryan Drew



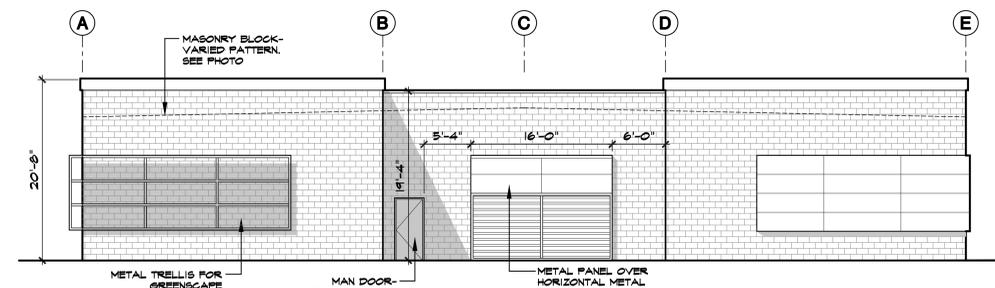
**FLOOR PLAN**

1/8"=1'-0"



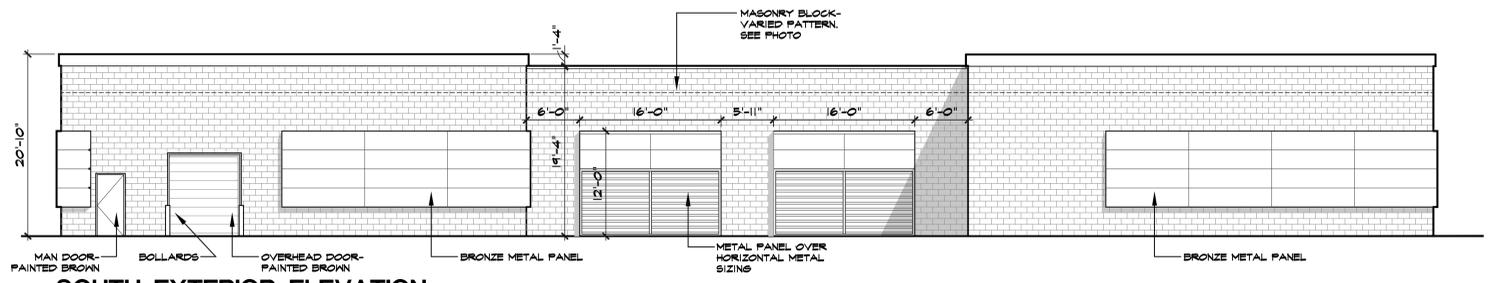
**NORTH EXTERIOR ELEVATION**

1/8"=1'-0"



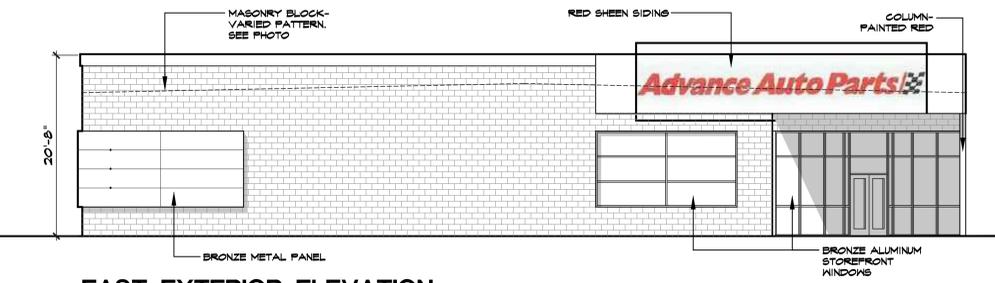
**WEST EXTERIOR ELEVATION**

1/8"=1'-0"



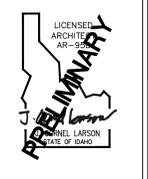
**SOUTH EXTERIOR ELEVATION**

1/8"=1'-0"



**EAST EXTERIOR ELEVATION**

1/8"=1'-0"



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**PROJECT NAME**  
 A NEW WAREHOUSE FOR  
 ADVANCE AUTO PARTS  
 4379 W. CHINDEN BLVD.  
 GARDEN CITY, IDAHO 83714

**REVISIONS**

**DRAWN BY**  
 RSD

**DATE**  
 4-12-16

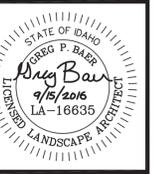
**SHEET NUMBER**

**A-1**

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**BAER** DESIGN GROUP, LLC  
 539 S. Fitness Place, Ste 120  
 Eagle, ID 83616  
 Ph. 208.938.7721



Advanced Auto Parts  
 Garden City, Idaho

4379 W. Chinden Blvd

Landscape Plan

Project No.:	16043
Drawn by:	JL
Checked by:	GB
Date:	08/24/2016
Sheet No.:	L1.0

**LANDSCAPE LEGEND:**

KEY	BOTANICAL NAME	COMMON NAME	SIZE	MATURE SIZE HxW
<b>CLASS I DECIDUOUS TREES</b>				
MC	Malus 'Coralburst'	Coralburst Crabapple	2" CAL. B&B	10' x 12'
PC	Pyrus calleryana 'Capital'	Capital Flowering Pear	2" CAL. B&B	35' x 15'
<b>CLASS II DECIDUOUS TREES</b>				
AP	Acer platanoides 'Royal Red'	Royal Red Maple	2" CAL. B&B	35' x 25'
GT	Gleditsia triacanthos var. inermis 'Skycole'	Skyline Honeylocust	2" CAL. B&B	45' x 30'
<b>CONIFEROUS TREES</b>				
CD	Cedrus deodara 'Karl Fuchs'	Karl Fuchs Himalayan Cedar	6'-7" B&B	12' x 4'
<b>SHRUBS &amp; PERENNIALS</b>				
BT	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	2 GALLON	2' x 3'
CA	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster's Feather Reed Grass	1 GALLON	4' x 2'
HE	Heuchera 'Blackout'	Blackout Coral Bells	1 GALLON	1' x 1.5'
HHR	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	1 GALLON	1.5' x 1.5'
HO	Hosta x 'Fire and Ice'	Fire and Ice Hosta	1 GALLON	1' x 2'
JS	Juniperus scopulorum 'Blue Arrow'	Blue Arrow Juniper	5-6" B&B	12' x 2'
LA	Lavandula angustifolia 'Hidcote Blue'	Hidcote Blue Lavender	1 GALLON	3' x 3'
MR	Mahonia repens	Creeping Mahonia	1 GALLON	2' x 3'
PA	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass	1 GALLON	2' x 2'
PM	Pinus mugo 'Mops'	Mops Mugo Pine	5 GALLON	3' x 3'



**LANDSCAPE NOTES:**

- Prior to construction start-up, coordinate work schedule and observations with Landscape Architect.
- Report all conditions which impair or prevent the proper execution of this work to Landscape Architect, prior to construction.
- Contractor shall verify all utility locations prior to construction operations. Any damage to utilities shall be contractor's responsibility.
- Contractor shall repair any areas disturbed by construction back to pre-construction conditions.
- All plant material shall be installed as per details this sheet.
- No substitutions will be allowed without consent from the Landscape Architect.
- Contractor shall stake all trees necessary to prevent them from being blown over.
- All plant material shall conform to the American Nurseryman standards and will be rejected if in unhealthy condition.
- All plant material shall be guaranteed for one year after the date of acceptance by owner. Contractor shall replace all plant material found dead or unhealthy immediately with the same size and species at no cost to the owner.
- Fertilize all trees with 'Agriform' planting tablets. Follow manufacturer's recommendations.
- All topsoil to be amended at a ratio of 3 cu. yds. of organic matter per 1000 sq. ft. Roto-till organic matter into the top 6 inches of topsoil.
- All shrub beds shall have a min 18 inches of topsoil. Spread, compact and fine grade smoothly to 3 inches below the surface of walkways and curbs.
- Finish grades are to be smooth with positive drainage in accordance with the grading plan.
- Topsoil shall be a loose, friable, sandy loam, clean and free of rocks (larger than 2 inches), weeds, roots, grass, or other foreign material that is harmful to plant growth. Topsoil shall have a pH of 5.5 to 7.0.
- Where possible, re-use existing surface topsoil from site. Verify topsoil will meet the requirements and amend as necessary. Import when existing topsoil quantities are insufficient.
- If importing topsoil from offsite, obtain from local sources that have similar soil characteristics to the project site. New topsoil must be fertile, friable, natural loam, reasonably free of subsoil, clay clumps, weeds, roots, stones larger than 1 inch. Representative samples shall be tested for acidity, fertility and general texture. Copies of the testing agency's findings and recommendations shall be submitted to the Landscape Architect.
- Contractor is responsible for the immediate clean up of any topsoil or other debris on site created from landscape construction operations.
- All mulch shall be min. 3" depth small chunk bark mulch.
- Shrub bed areas shall be drip irrigation. Coordinate planting with irrigation contractor.
- Contractor shall provide an automatic subsurface irrigation system to provide 100% coverage to all landscaping on site.

**LANDSCAPE REQUIREMENTS:**

Per Garden City Code; Title 8 - Development Code, Chapter 4 Design and Development Regulations, Article 1 Landscaping and Tree Protection Provisions.

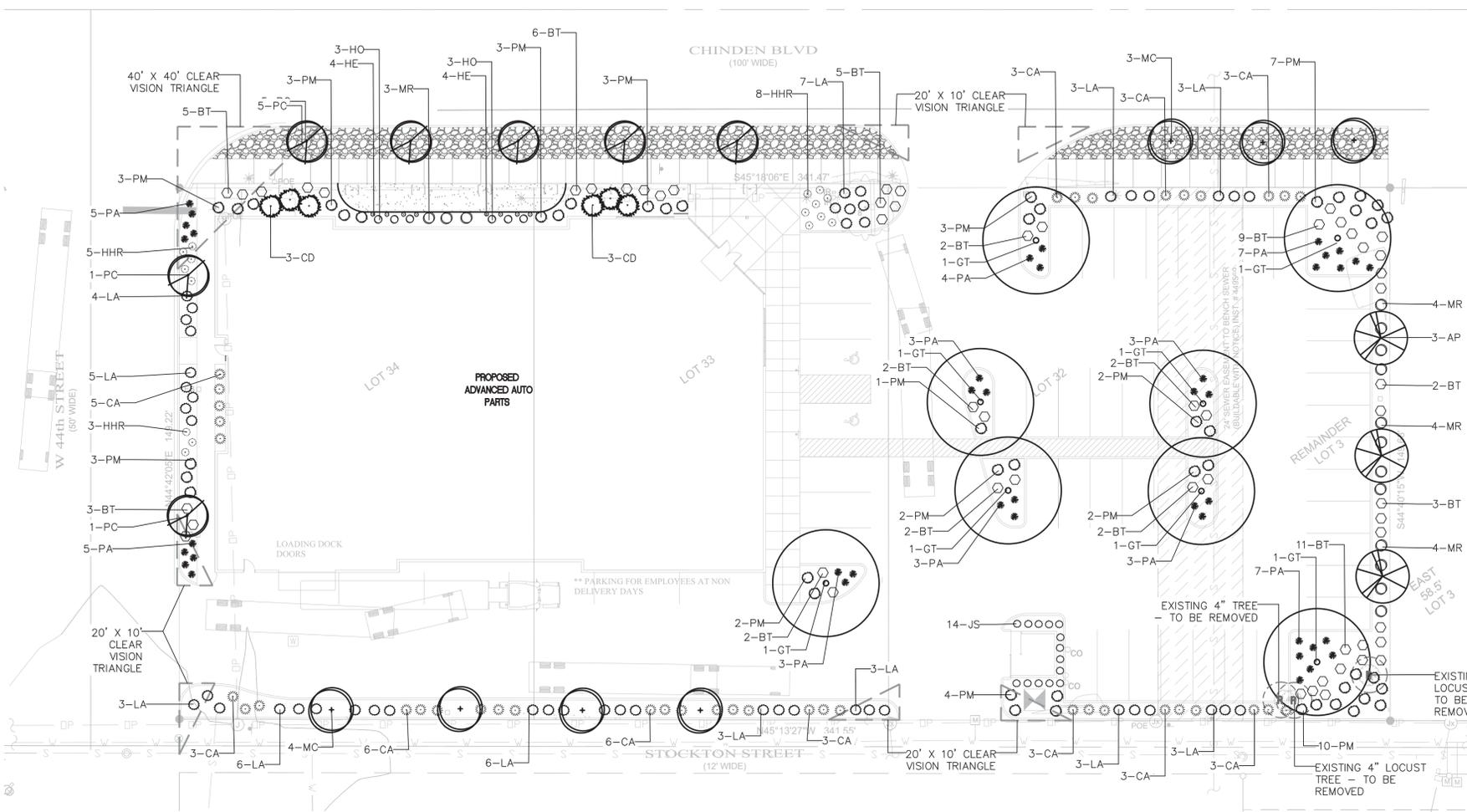
AREA	REQUIREMENT	MEASUREMENT	REQUIRED	PROVIDED
NONRESIDENTIAL USE LANDSCAPE AREA	Minimum of one tree per one thousand (1,000) square feet of landscaped area and one shrub per one hundred fifty (150) square feet of landscape area.	2140 SQ FT	2 trees & 6 trees***	14 shrubs 40 shrubs***
BUILDING FRONTAGE	One Class II or II tree in the frontage & adjacent street side. An additional Class I tree for every 50 linear feet increment of frontage.	Chinden Blvd 44th Street	155 FT 100 FT	4 trees 3 trees 8 trees* 2 trees* 38 shrubs***
PERIMETER LANDSCAPE	One tree/ every 15 linear feet of perimeter length	Southwest Perimeter Southeast Perimeter	342 FT 150 FT	23 trees 10 trees 4 trees** 60 shrubs*** 3 trees** 23 shrubs***
INTERIOR PARKING LOT	One shade tree every 5 parking spaces supplied	45 spaces	9 trees	8 trees** 133 shrubs***

\*TWO CLASS I TREES SUBSTITUTED FOR ONE REQUIRED CLASS II TREE PER CITY CODE 8-41-4-B5.  
 \*\*TREE REQUIREMENTS NOT SATISFIED, SEE NOTE BELOW.  
 \*\*\*ADDITIONAL SHRUBS LOCATED THROUGHOUT THE SITE FOR TREE QUANTITY SUBSTITUTIONS. SEE PROPOSED LANDSCAPE SUBSTITUTION.

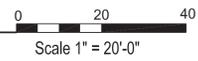
**TREE MITIGATION REQUIREMENTS:**

Per Garden City Code; Title 8 - Development Code, Chapter 4 Design and Development Regulations, Article 1 Landscaping and Tree Protection Provisions, Section 7 Tree Preservation Provisions, Subsection C Standards, Paragraph 5b: "Mitigation shall be replacement of total calipers lost on site up to an amount of one hundred (100%) replacement."

CALIPER & TREE TO BE REMOVED	CALIPER & TREE REPLACEMENT
(3) 4" Locust Trees	(3) 2" Crabapple Trees (3) 6'-7" Cedar Trees
Total Caliper Inches Removed = 12"	Total Caliper Inches Replaced = 12"



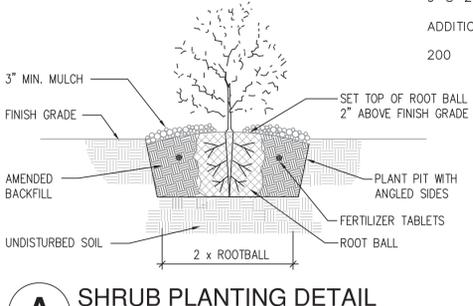
**LANDSCAPE PLAN**



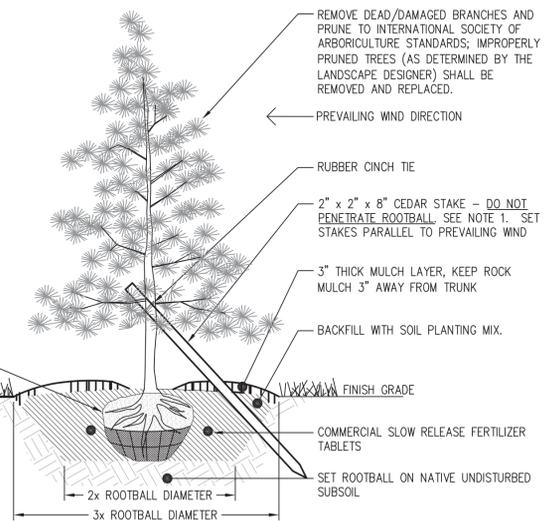
**PROPOSED LANDSCAPE SUBSTITUTION**

Per Garden City Code; Title 8 - Development Code, Chapter 4 Design and Development Regulations, Article 1 Landscaping and Tree Protection Provisions, 8-41-4 Section B Paragraph 4: "Trees may be substituted for up to one-half (1/2) of the required shrubs at the rate of one tree for ten (10) shrubs and vice versa. (Ord. 898-08, 9-8-2008; amd. Ord. 944-12, 5-14-2012)"

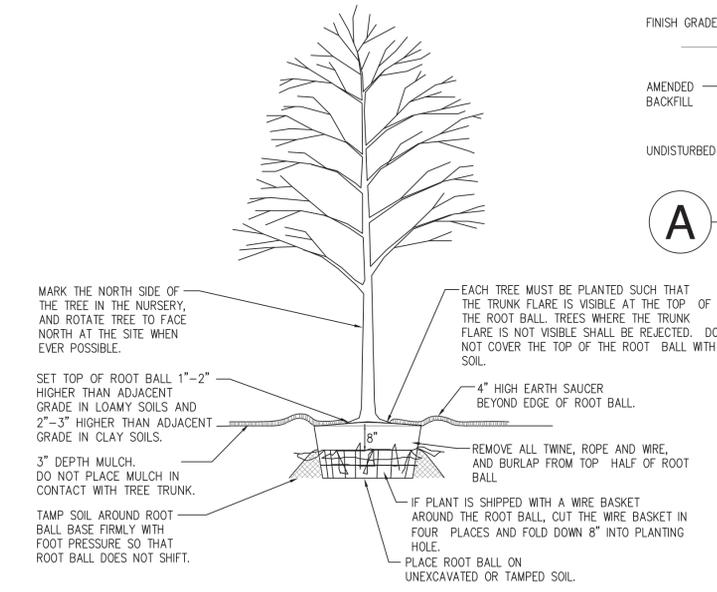
ADDITIONAL SHRUBS PROVIDED	TREE DEDUCTION ALLOWANCE	TOTAL TREES DEDUCTED
200	20	20



**A SHRUB PLANTING DETAIL**



**C CONIFER TREE PLANTING AND STAKING DETAIL**



**B TREE PLANTING DETAIL**

- NOTES:**
- DO NOT HEAVILY PRUNE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN AND DEAD BRANCHES. DO NOT PRUNE TERMINAL BUDS OF BRANCHES EXTENDING TO THE CROWN.
  - WRAP TREE TRUNKS ONLY UPON APPROVAL OF THE LANDSCAPE DESIGNER.
  - STAKE TREES AS NECESSARY. STAKES MUST BE REMOVED WITHIN 12 MONTHS OF PLANTING.

- NOTES:**
- THE STAKING OF TREES IS TO BE REQUIRED BY THE CONTRACTOR. ALL STAKING SHALL BE REMOVED AT THE END OF THE ONE YEAR WARRANTY PERIOD.
  - WRAP RUBBER CINCH TIES AROUND THE TREE TRUNKS AND STAKES USING EITHER THE STANDARD OR FIGURE EIGHT TYING METHOD. SECURE THE TIES TO THE STAKES WITH GALVANIZED NAILS TO PREVENT SLIPPAGE.
  - WATER TREE TWICE WITHIN THE FIRST 24 HOURS.



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**A NEW BUILDING FOR:  
 ADVANCE AUTO PARTS  
 4379 W. CHINDEN BOULEVARD  
 GARDEN CITY, IDAHO 83714**

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PROJECT NAME	A NEW BUILDING FOR: ADVANCE AUTO PARTS 4379 W. CHINDEN BOULEVARD GARDEN CITY, IDAHO 83714
REVISIONS	
DRAWN BY	RSD
DATE	9-22-16
SHEET NUMBER	SP-1

### SITE DATA

**PROPERTY DESCRIPTION:**  
 LOTS 32, 33, 34 &  
 LOT 3 EXC E 33.5' BLK C  
 FAIRVIEW ACRES SUB NO 2  
 #010-5

**PARCEL #:** R2734510144

**ADDRESS:** 4379 W CHINDEN BLVD GARDEN CITY, ID 83714

**TOTAL LOT SQUARE FOOTAGE:** 51,400 SF (1.18 ACRES)

**TOTAL BUILDING SQUARE FOOTAGE:** 14,395 SF OR 29%

**BASE ZONING DISTRICT:** C-2

**ALLOWED USE:** RETAIL

**BUILDING SETBACKS:** FRONT: 5'-0"  
 SIDE: 5'-0"  
 REAR: 5'-0"

**REQUIRED PARKING SPACES:** PER PLANNING OFFICIAL: 50

**PROVIDED PARKING SPACES:** 50

**BICYCLE SPACES:** 0- NONE REQUIRED

**IMPERVIOUS SURFACES:** 28,752 SF OR 56%

**PROVIDED LANDSCAPING:** 7,658 SF OR 15%

**2300 GPM @ 20 PSI RESIDUAL**  
**2300 GPM @ 20 PSI RESIDUAL**

