

THE RIVERSIDE HOTEL

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 GARDEN CITY
 DEVELOPMENT SERVICES

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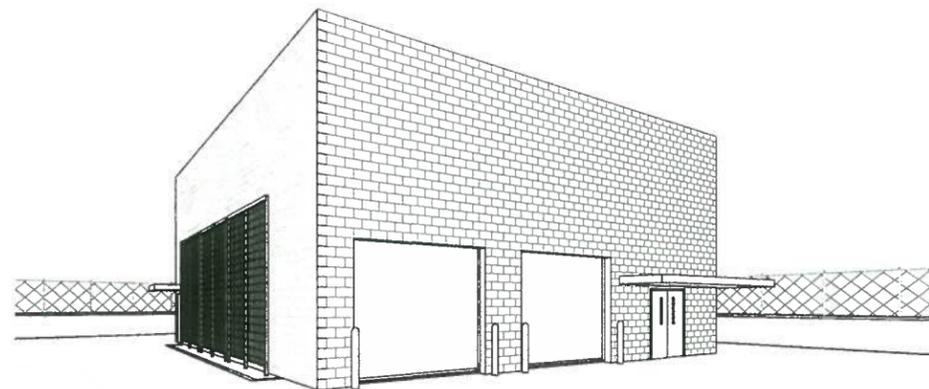
PROJECT TITLE

CONTRACT DRAWINGS FOR:

RIVERSIDE HOTEL STORAGE BUILDING

PROJECT PHASE:
SD

ARCHITECTURAL
 CIVIL
 LANDSCAPE
 STRUCTURAL
 ELECTRICAL
 MECHANICAL



RIVERSIDE HOTEL

PROJECT NO. 15-86
 PROJECT DATE: 07.12.16

PROJECT CONTACT INFORMATION:

OWNER
 JOHNSON BROTHER'S HOSPITALITY
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ELECTRICAL
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 JEFF SMITH
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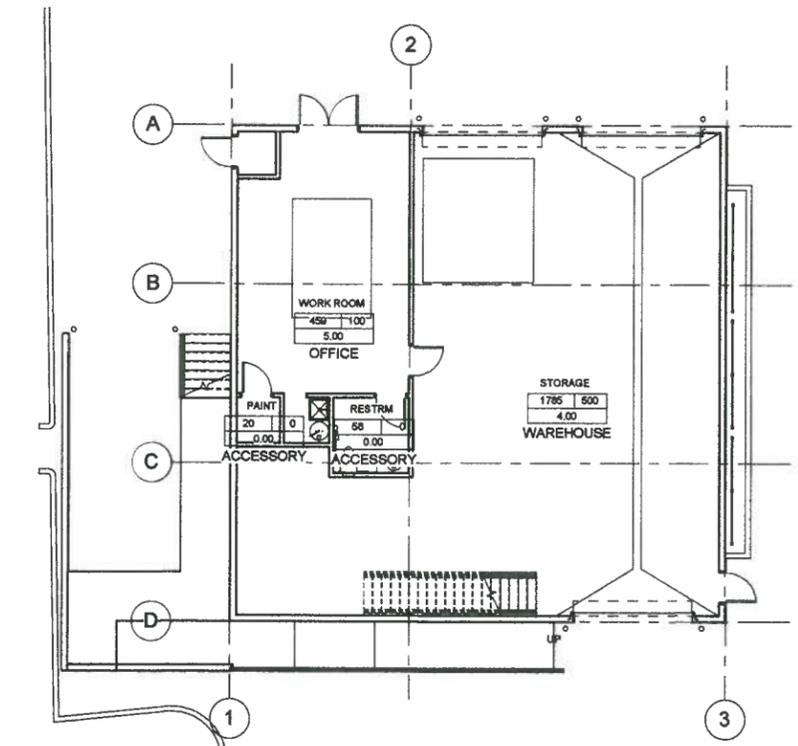
STRUCTURAL
 ALLY STRUCTURAL
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 CRAIG BRASHER
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LANDSCAPE & CIVIL
 THE LAND GROUP
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 208.724.6538
 phil@thelandgroupinc.com

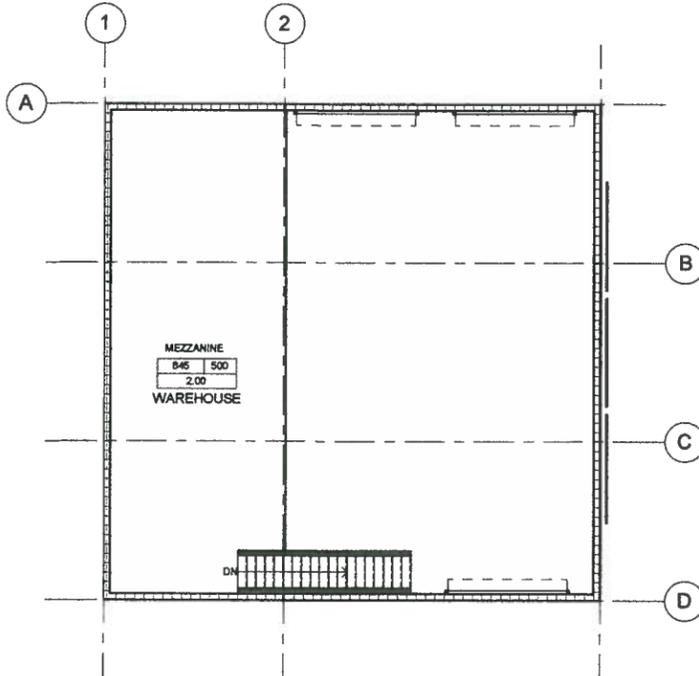
GENERAL CONTRACTOR
 MARK GUHO CONSTRUCTION
 10 N. Liberty Street
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 Boise, ID 83704
 Mark Guho
 208.375.7475
 mark@mguho.com

NOT FOR CONSTRUCTION

G000



1ST FLOOR CODE PLAN
1/8" = 1'-0"



MEZZANINE CODE PLAN
1/8" = 1'-0"

CODE REVIEW:

ADDRESS:
5618 East Newby Street
Nampa, ID 83857

APPLICABLE CODES:
2012 INTERNATIONAL BUILDING CODE
2012 INTERNATIONAL RESIDENTIAL CODE (PARTS I - IV AND IX, APPENDIX G)
2012 INTERNATIONAL ENERGY CONSERVATION CODE
IDAHO STATE PLUMBING CODE
2014 NATIONAL ELECTRIC CODE
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL MECHANICAL CODE
2012 INTERNATIONAL FUEL GAS CODE

TYPE OF CONSTRUCTION:
CONSTRUCTION TYPE: EXISTING BUILDING TYPE VB

FIRE SPRINKLER AND FIRE ALARM
FIRE SPRINKLER SYSTEM - YES
FIRE ALARM SYSTEM - YES

THE FIRE SPRINKLER SYSTEM TO BE IN COMPLIANCE WITH NFPA 13 AND APPROVED BY THE STATE FIRE MARSHAL AND THE LOCAL FIRE DEPARTMENT. NEW WALL LOCATIONS MAY REQUIRE AN ALTERATION TO THE SPRINKLER SYSTEM TO MAINTAIN COMPLIANCE. WORK TO BE PERFORMED BY LICENSED FIRE SPRINKLER CONTRACTOR.

FULLY SPRINKLERED BUILDING PER SECTION 903.2.6
FIRE ALARM PER SECTION 907

ALLOWABLE SQUARE FOOTAGE:
IBC TABLE 503 - CLASSIFICATION (IBC CHAPTER 3): I-3 CONDITION 1
ALLOWABLE HEIGHT = 1 STORY
ALLOWABLE SQUARE FOOTAGE PER STORY = 5,000 SF
508.3 AUTOMATIC SPRINKLER SYSTEM INCREASE 200%
TOTAL ALLOWABLE BUILDING AREA = 10,000 SF
TOTAL BUILDING AREA = 7,638 SF

OCCUPANT LOAD
SEE CODE PLAN & 'OCCUPANCY SCHEDULE' THIS SHEET.
TOTAL: 43 OCCUPANTS

EXITS
1101.4.3 COMMON PATH OF EGRESS TRAVEL IN OCCUPANCIES OTHER THAN GROUPS H-1, H-2, H-3, B, S, F, R-2, R-3, AND I-3, THE COMMON PATH OF EGRESS TRAVEL SHALL NOT EXCEED 75 FEET.
MAXIMUM TRAVEL DISTANCE = 44'-4" (SEE PLANS)

1015.2.1 EXIT ACCESS - THE EXIT DOORS SHALL BE PLACED A DISTANCE APART EQUAL TO NOT LESS THAN 1/2 OF THE LENGTH OF THE MAXIMUM OVERALL DIAGONAL DIMENSION OF THE BUILDING OR AREA TO BE SERVED MEASURED IN A STRAIGHT LINE BETWEEN EXIT DOORS OR EXIT ACCESS DOORWAYS.
EXCEPTION 2: WHERE A BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THE EXIT DOOR SHALL NOT BE LESS THAN 1/3 THE DIAGONAL DISTANCE.

DIAGONAL DISTANCE = 148'-9"
1/3 DIAGONAL DISTANCE = 148'-9" / 3 = 49'-7"
STRAIGHT BETWEEN EXIT DOORS = 47'-7" x 58'-7"

1015.1.1 (2) EXITS SHALL BE PROVIDED
(2) REQUIRED - (5) PROVIDED

CORRIDORS:
TABLE 1016.1 CORRIDOR FIRE-RESISTANCE RATING
RATED CORRIDOR REQUIRED IN A, B, E, F, M, S, AND U, ARE NOT REQUIRED TO BE RATED IN BUILDINGS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.
RATED CORRIDOR NOT REQUIRED.

908.1 PORTABLE FIRE EXTINGUISHERS
PROVIDE FIRE EXTINGUISHER(S) PER IBC REQUIREMENTS, TYPE A-1, MAX SPACING 75 LINEAL FEET (SEE PLANS).

PLUMBING FIXTURE REQUIREMENTS:
SEE "PLUMBING FIXTURE REQUIREMENTS" (THIS SHEET) FOR DETAILED BREAKDOWN OF REQUIRED FIXTURES AND PROVIDED FIXTURES.

GENERAL NOTES CODE PLAN:

A. ALL CONSTRUCTION ADDENDA, CHANGE ORDERS, OR DESIGN CLARIFICATIONS MUST BE SUBMITTED TO THE BUILDING DEPARTMENT OFFICE STAFF FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION IN THE FIELD. THE FIELD INSPECTOR WILL NOT APPROVE CHANGES TO THESE APPROVED PLANS AND SPECIFICATIONS.

B. ABBREVIATIONS OR PARTIAL CODE SECTIONS NOTED ON THE PLAN AND PLAN REVIEW LIST ARE INTENDED TO INDICATE THE NATURE OF THE PLAN DEFICIENCY OR GIVE ADDITIONAL INFORMATION. THE FULL TEXT OF THE CODE, AS INDICATED BY THE CODE SECTION REFERENCED, ALWAYS APPLIES.

C. THE ISSUANCE OR GRANTING OF A PERMIT OR APPROVAL OF PLANS, SPECIFICATIONS, AND COMPUTATIONS SHALL NOT BE CONSTRUED TO BE A PERMIT FOR, OR AN APPROVAL OF, ANY VIOLATION OF ANY OF THE PROVISIONS OF THE IBC OR ANY OTHER ORDINANCE OF THIS JURISDICTION. PERMITS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF THE IBC OR OTHER ORDINANCES OF THIS JURISDICTION SHALL NOT BE VALID.

D. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF VIOLATIONS OF THE PROVISIONS OF THE IBC OR OF OTHER ORDINANCES OF THIS JURISDICTION. INSPECTORS PRESUMING TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF THE IBC OR OF OTHER ORDINANCES OF THIS JURISDICTION SHALL NOT BE VALID.

E. THE RELOCATION OF FIRE SPRINKLER HEADS SHALL COMPLY WITH APPROVED FIRE SUPPRESSION SYSTEMS PLAN REVIEW DOCUMENTS.

F. ALTERATIONS OR REPAIRS TO ANY BUILDING OR STRUCTURE SHALL CONFORM WITH THE REQUIREMENTS OF THE PLAN REVIEW COMMENTS. ADDITIONS OR ALTERATIONS SHALL NOT BE MADE TO AN EXISTING STRUCTURE WHICH WILL CAUSE THE EXISTING BUILDING OR STRUCTURE TO BE IN VIOLATION OF ANY PROVISIONS APPLICABLE IN THE IBC.

LIFE SAFETY LEGEND

NAME
ROOM AREA
OCCUPANCY LOAD FACTOR
OCCUPANT LOAD
OCCUPANCY TYPE

EXIT
BUILDING EXIT & OVERHEAD EXIT SIGNAGE PER JURISDICTION REQUIREMENTS

FEC
FIRE EXTINGUISHER - PROVIDE LARSEN'S MP10
FIRE EXTINGUISHER W/ VERTICAL DUO 2-1/2"
SEMI-RECESSED CABINET OR APPROVED EQUAL

CPOET
CPOET = COMMON PATH OF EGRESS TRAVEL

ACCESSIBLE ROUTE OF TRAVEL

KEY NOTES: #

1. XXX

NAME	AREA	OCCUPANCY TYPE	OCCUPANCY LOAD FACTOR	OCCUPANCY LOAD
1ST FLOOR				
FIRE RISER	17			
ACCESSORY				
RESTRM	58	ACCESSORY	0	
PAINT	20	ACCESSORY	0	
OFFICE				
WORK ROOM	459	OFFICE	100	4.59
WAREHOUSE				
STORAGE	1785	WAREHOUSE	500	3.57
MEZZANINE FLOOR PLAN				
WAREHOUSE				
MEZZANINE	845	WAREHOUSE	500	1.69
Grand total				11



ARCHITECT:
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BOISE, ID 83702 | (208) 345-1900

STAMP:
NOT FOR CONSTRUCTION

CONSULTANT:

PROJECT INFORMATION:
PROJECT NAME:
RIVERSIDE HOTEL POOL UPGRADES
OWNER:
THE RIVERSIDE HOTEL
2900 E Chinden Blvd
Boise, ID 83714

REVISIONS:
MARK DATE DESCRIPTION

PROJECT PHASE: SD
PROJECT NUMBER: 15-61
PROJECT MANAGER: J. Chestfield
PROJECT ARCHITECT: J. Chestfield
DESIGN: J. Chestfield
DRAWN BY: Author

SHEET NAME:
1ST FLOOR AND MEZZ CODE ANALYSIS & LIFE SAFETY PLAN

SHEET NUMBER:
G003

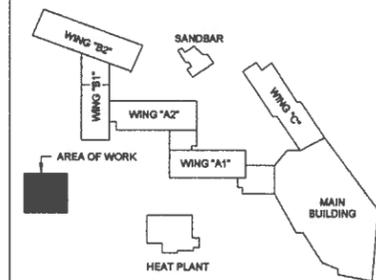
GENERAL NOTES SITE PLAN:

- A. BEFORE PROCEEDING TO LAY OUT THE WORK, VERIFY LAYOUT INFORMATION SHOWN ON DRAWINGS, IN RELATION TO THE PROPERTY SURVEY AND EXISTING BENCHMARKS. IF DISCREPANCIES ARE DISCOVERED, NOTIFY ARCHITECT PROMPTLY.
- B. ENGAGE A LAND SURVEYOR OR PROFESSIONAL ENGINEER TO LAY OUT THE WORK USING ACCEPTED SURVEYING PRACTICES.
- C. ESTABLISH BENCHMARKS AND CONTROL POINTS TO SET LINES AND LEVELS AT EACH STORY OF CONSTRUCTION AND ELSEWHERE AS NEEDED TO LOCATE EACH ELEMENT OF PROJECT.
- D. ESTABLISH LIMITS ON USE OF PROJECT SITE, IF STAGING AREA IS NOT DESIGNATED ON PLANS, THEN COORDINATE LOCATION WITH OWNER.
- E. FIELD VERIFY ALL UTILITY INFORMATION SHOWN ON PLANS BEFORE PROCEEDING WITH WORK.
- F. INFORM SUBCONTRACTORS OF LINES AND LEVELS TO WHICH THEY MUST COMPLY.
- G. CHECK THE LOCATION, LEVEL AND PLUMB, OF EVERY MAJOR ELEMENT AS THE WORK PROGRESSES.
- H. LOCATE AND LAY OUT CONTROL LINES AND LEVELS FOR STRUCTURES, BUILDING FOUNDATIONS, COLUMN GRIDS, AND FLOOR LEVELS, INCLUDING THOSE REQUIRED FOR MECHANICAL AND ELECTRICAL WORK. TRANSFER SURVEY MARKINGS AND ELEVATIONS FOR USE WITH CONTROL LINES AND LEVELS. LEVEL FOUNDATIONS AND PIERS FROM TWO OR MORE LOCATIONS.

KEY NOTES: #

1.

KEY PLAN



SITE PLAN
1" = 10'-0"



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BOISE, ID 83702 | (208) 345-1800

STAMP:

NOT FOR CONSTRUCTION

CONSULTANT:

PROJECT INFORMATION:

PROJECT NAME:
RIVERSIDE HOTEL POOL UPGRADES

OWNER:

THE RIVERSIDE HOTEL

2900 E Chinden Blvd
Boise, ID 83714

REVISIONS:

MARK	DATE	DESCRIPTION

PROJECT PHASE: **SD**

PROJECT NUMBER: 15-01

PROJECT MANAGER: J. Chefield

PROJECT ARCHITECT: J. Chefield

DESIGN: J. Chefield

DRAWN BY: Author

SHEET NAME:

SITE PLAN

SHEET NUMBER:

A101

07.12.16

ARCHITECT:



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STAMP:

NOT FOR CONSTRUCTION

CONSULTANT:

PROJECT INFORMATION:

PROJECT NAME:
RIVERSIDE HOTEL POOL UPGRADES

OWNER:



2900 E Chinden Blvd
Boise, ID 83714

REVISIONS:

MARK	DATE	DESCRIPTION

PROJECT PHASE: SD

PROJECT NUMBER: 15-01

PROJECT MANAGER: J. Chestfield

PROJECT ARCHITECT: J. Chestfield

DESIGN: J. Chestfield

DRAWN BY: M. Joseph

SHEET NAME:

1ST FLOOR PLAN

SHEET NUMBER:

A200

07.12.16

GENERAL NOTES FLOOR PLAN:

- A. GENERAL NOTES APPLY TO ALL DRAWING SETS.
- B. RE: SHEET A700 FOR DOOR TYPES & SCHEDULE.
- C. RE: SHEET A701 FOR WINDOW TYPES.
- D. RE: DIMENSION PLANS WALL TYPES & DETAILS.
- E. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES OCCUR BEFORE PROCEEDING WITH WORK.
- F. CROSS REFERENCES SHOWN ON DRAWINGS DO NOT NECESSARILY INDICATE ALL LIKE CONDITIONS AND DO NOT LIMIT APPLICATION OF ANY DRAWING OR DETAIL. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT PRIOR TO PROCEEDING WITH WORK. IF DESIGN INTENT REMAINS UNCLEAR THEN PROVIDE MOST EXPENSIVE OPTION IN BID.
- G. PATCH ALL HOLES IN EXISTING SURFACES AND WHERE EQUIPMENT HAS BEEN REMOVED OR DEMOLITION HAS OCCURRED AND PREPARE WALL SURFACES (PATCH, SKIM COAT, ETC.) AS REQUIRED IN PREPARATION FOR NEW FINISHES SCHEDULED. PATCH TO MATCH ADJACENT SURFACES IN FINISH AND COLOR IF NOT SCHEDULED.
- H. PROVIDE SOLID BLOCKING IN WALLS FOR ALL WALL HUNG EQUIPMENT BLOCKING TO MEET OR EXCEED MANUFACTURER'S RECOMMENDATIONS. FASTEN EQUIPMENT TO WALLS PER MANUFACTURER'S RECOMMENDATIONS. PROVIDE BLOCKING FOR, BUT NOT LIMITED TO THE FOLLOWING: MILLWORK, RAILING, FIRE EXTINGUISHER ACCESSORIES, WALL MOUNTED PLUMBING FIXTURES, SHELVING, ELECTRICAL EQUIPMENT, RESTROOM ACCESSORIES AND DISPLAY ITEMS.
- I. CAULK ALL COUNTERTOPS, BACKSLASHES AND CABINETS AT LOCATIONS WHERE THEY MEET WALLS. SEAL ALL CUT-OUTS IN COUNTERTOPS.
- J. MATCH FINISHED WALL THICKNESS WHERE NEW WALLS OCCUR IN LINE WITH EXISTING WALLS.
- K. ERECT DUST PROOF PARTITIONS AS REQUIRED BY OWNER TO PROTECT ADJACENT AREAS.
- L. SEAL AROUND ALL MECHANICAL AND ELECTRICAL EQUIPMENT PENETRATIONS AT WALLS. AT RATED WALLS USE A U.L. APPROVED FIRE-STOPPING MATERIAL.
- M. PROVIDE 4" DOOR JAMBS FROM FACE-OF-FINISH AT ADJACENT WALLS ON THE HINGE SIDE OR UNLESS OTHERWISE INDICATED.
- N. DIMENSIONS ARE TO GRID LINE OR FACE OF STRUCTURAL MEMBER UNLESS OTHERWISE NOTED. DOOR & WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING OR CENTERLINE OF OPENING. CONCRETE AND BRICK DIMENSIONS ARE GIVEN TO THE FACE OF CONCRETE OR MASONRY AND TO THE FACE OF ROUGH OPENINGS.
- O. PROVIDE UNDERSLAB VAPOR RETARDER. VAPOR RETARDER TO HAVE PERMEANCE RATING LESS THAN 0.1 PERMS. VAPOR RETARDER TO MEET OR EXCEED REQUIREMENTS OF ASTM E1745, CLASS 'A'.

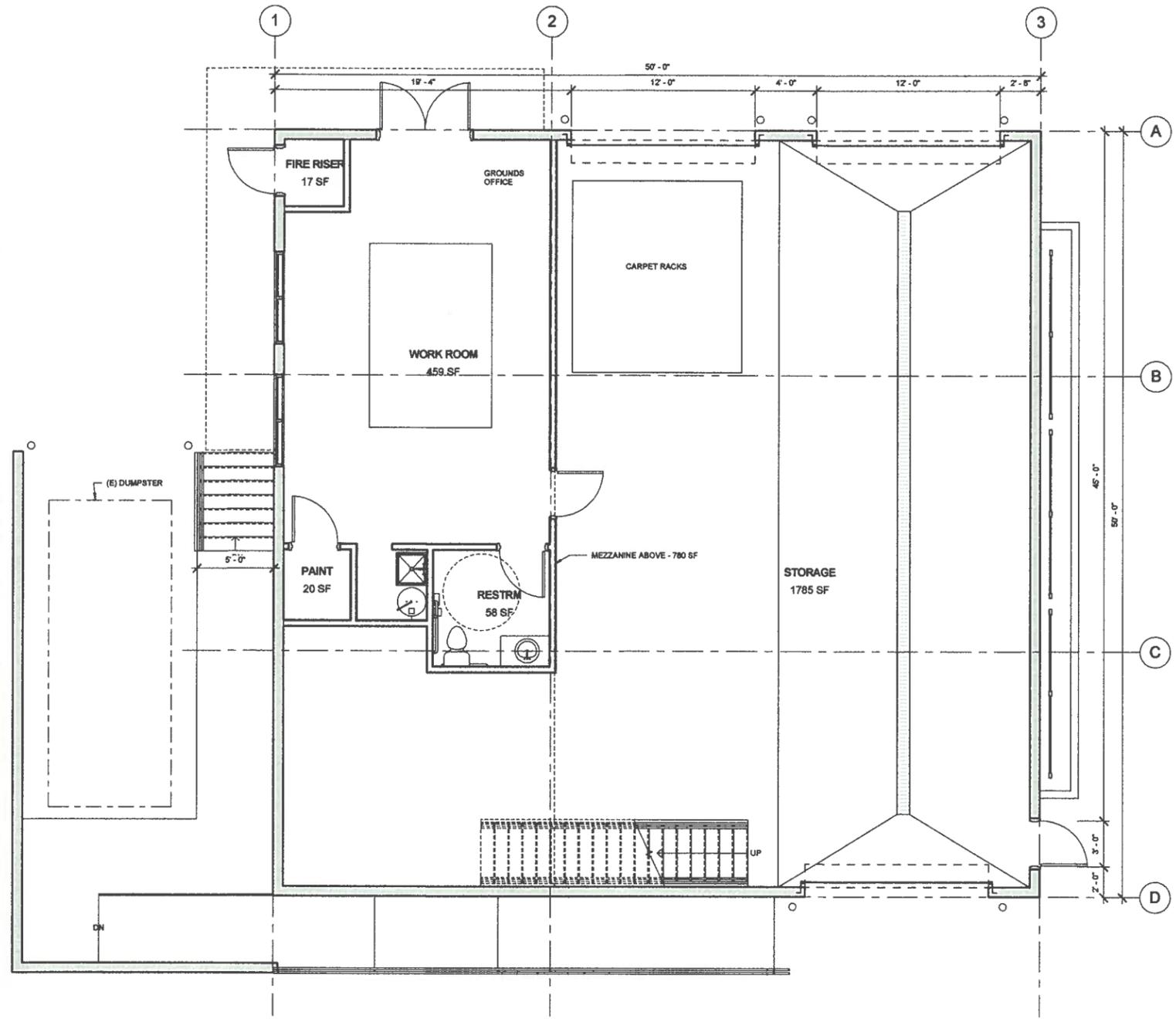
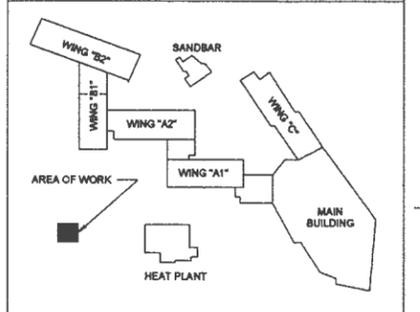
NEW / EXISTING WALL SYMBOLS:

SYMBOL:	DESCRIPTION:
	NEW CONSTRUCTION
	EXISTING TO REMAIN

KEY NOTES: #

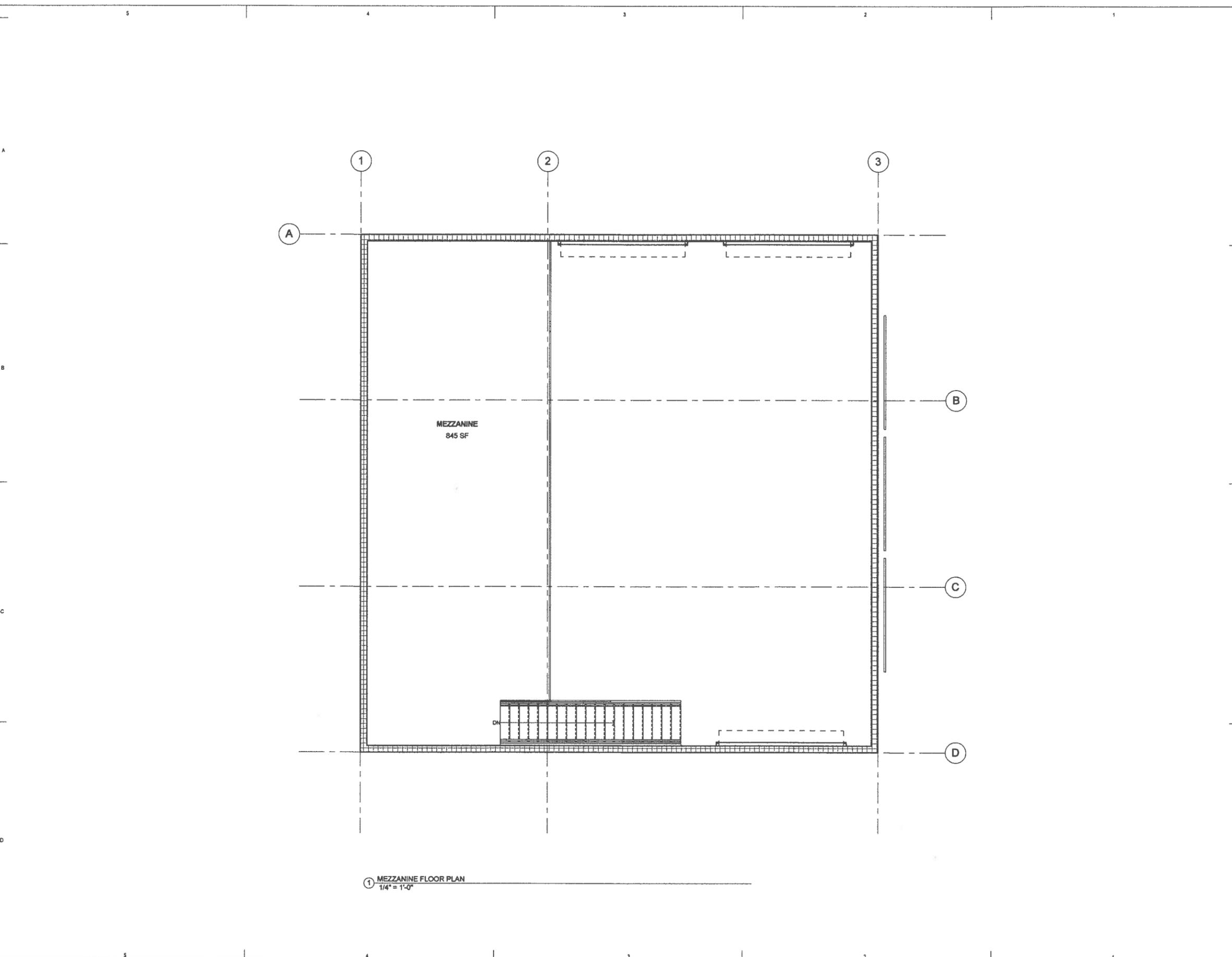
1. XXX

KEY PLAN



1ST FLOOR PLAN
1/4" = 1'-0"





① MEZZANINE FLOOR PLAN
1/4" = 1'-0"

ARCHITECT:



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STAMP:

NOT FOR CONSTRUCTION

CONSULTANT:

PROJECT INFORMATION:

PROJECT NAME
RIVERSIDE HOTEL POOL UPGRADES
OWNER
THE RIVERSIDE HOTEL
2900 E Chinden Blvd
Boise, ID 83714

REVISIONS:

MARK	DATE	DESCRIPTION

PROJECT PHASE	SD
PROJECT NUMBER	15-01
PROJECT MANAGER	J. Chatfield
PROJECT ARCHITECT	J. Chatfield
DESIGN	J. Chatfield
DRAWN BY	Author

SHEET NAME:

MEZZANINE FLOOR PLAN

SHEET NUMBER:

A201

07.12.15

GENERAL NOTES EXT. ELEVATIONS:

- A. GENERAL NOTES APPLY TO ALL DRAWING SETS.
- B. RE: SHEET A700 FOR DOOR TYPES & SCHEDULE.
- C. RE: SHEET A701 FOR WINDOW TYPES.
- D. FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES OCCUR BEFORE PROCEEDING WITH WORK.
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- F. DIMENSIONS ARE TO GRID LINE OR FACE OF STRUCTURAL MEMBER UNLESS OTHERWISE NOTED. DOOR & WINDOW OPENING DIMENSIONS ARE TO ROUGH OPENING OR CENTERLINE OF OPENING. CONCRETE AND BRICK DIMENSIONS ARE GIVEN TO THE FACE OF CONCRETE OR MASONRY AND TO THE FACE OF ROUGH OPENINGS.

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STAMP:
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CONSULTANT:

PROJECT INFORMATION:
 PROJECT NAME:
RIVERSIDE HOTEL POOL UPGRADES
 OWNER:
THE RIVERSIDE HOTEL
 2900 E Chinden Blvd
 Boise, ID 83714

REVISIONS:

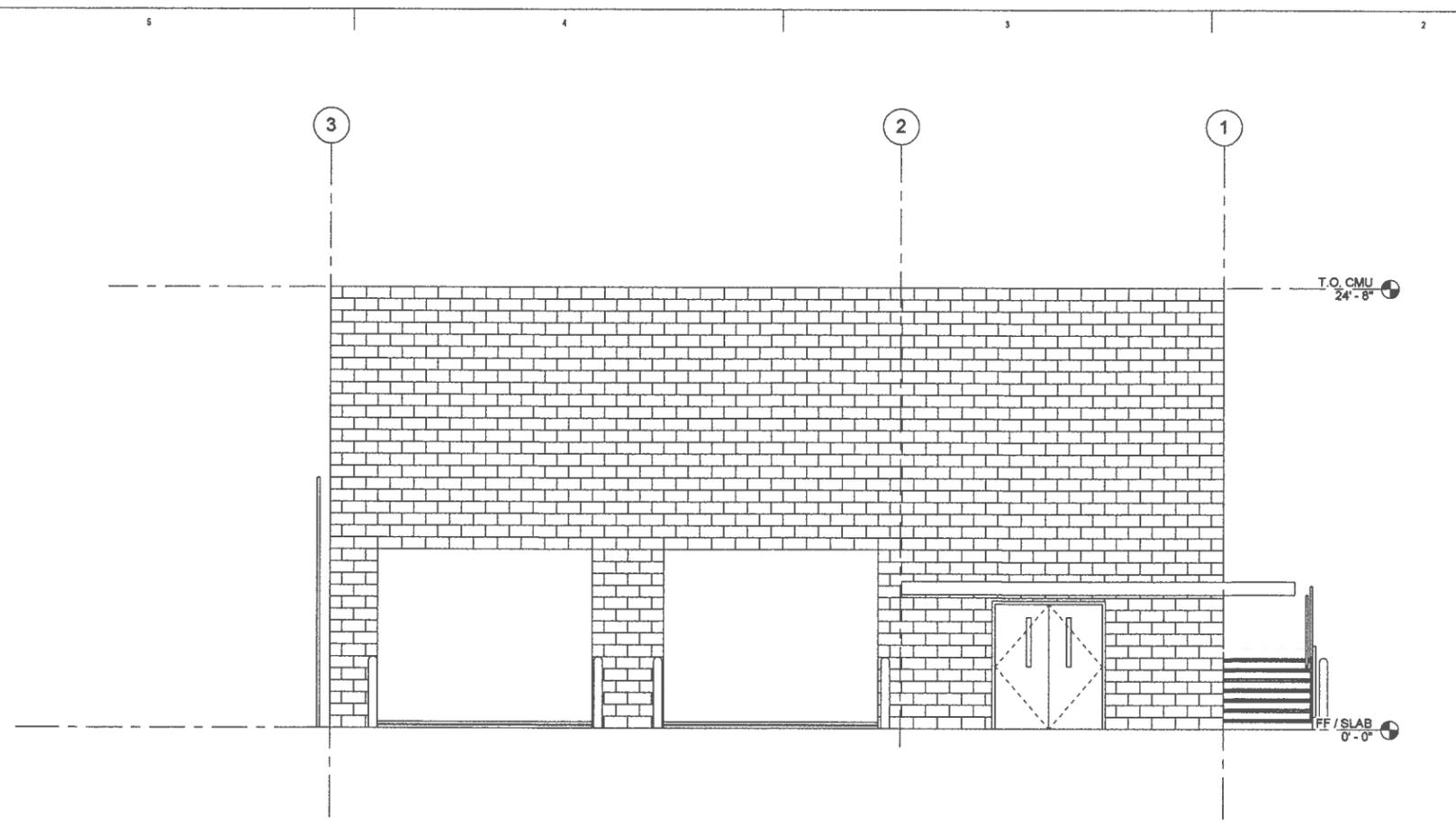
MARK	DATE	DESCRIPTION

PROJECT PHASE	SD
PROJECT NUMBER	1541
PROJECT MANAGER	J. Chestfield
PROJECT ARCHITECT	J. Chestfield
DESIGN	J. Chestfield
DRAWN BY	M. Joseph

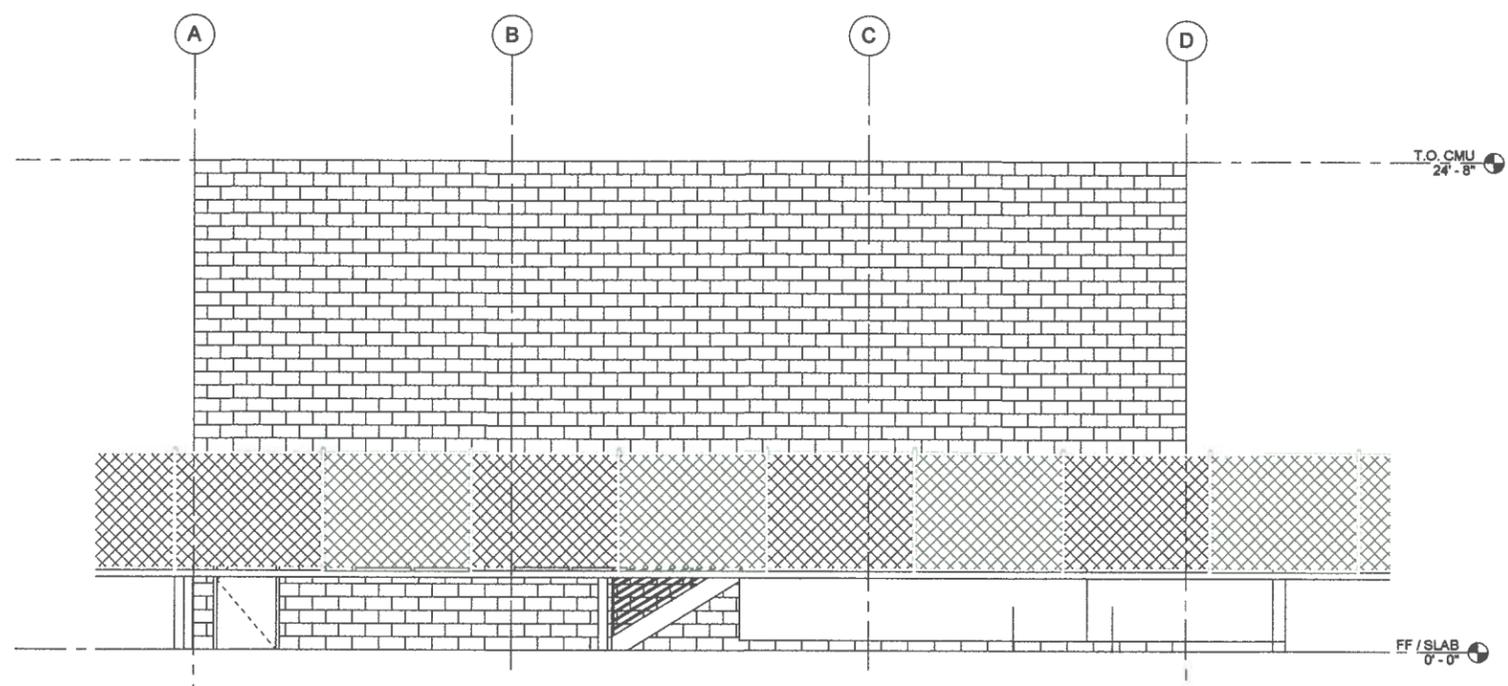
SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER:
A300

07.12.15



NORTH ELEVATION
 1/4" = 1'-0"



WEST ELEVATION
 1/4" = 1'-0"

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CONSULTANT

PROJECT INFORMATION:

PROJECT NAME:

RIVERSIDE HOTEL POOL UPGRADES

OWNER:

THE RIVERSIDE HOTEL

2900 E Chinden Blvd
Boise, ID 83714

REVISIONS:

MARK	DATE	DESCRIPTION

PROJECT PHASE: **SD**

PROJECT NUMBER: 1541

PROJECT MANAGER: J. Chastfield

PROJECT ARCHITECT: J. Chastfield

DESIGN: J. Chastfield

DRAWN BY: Author

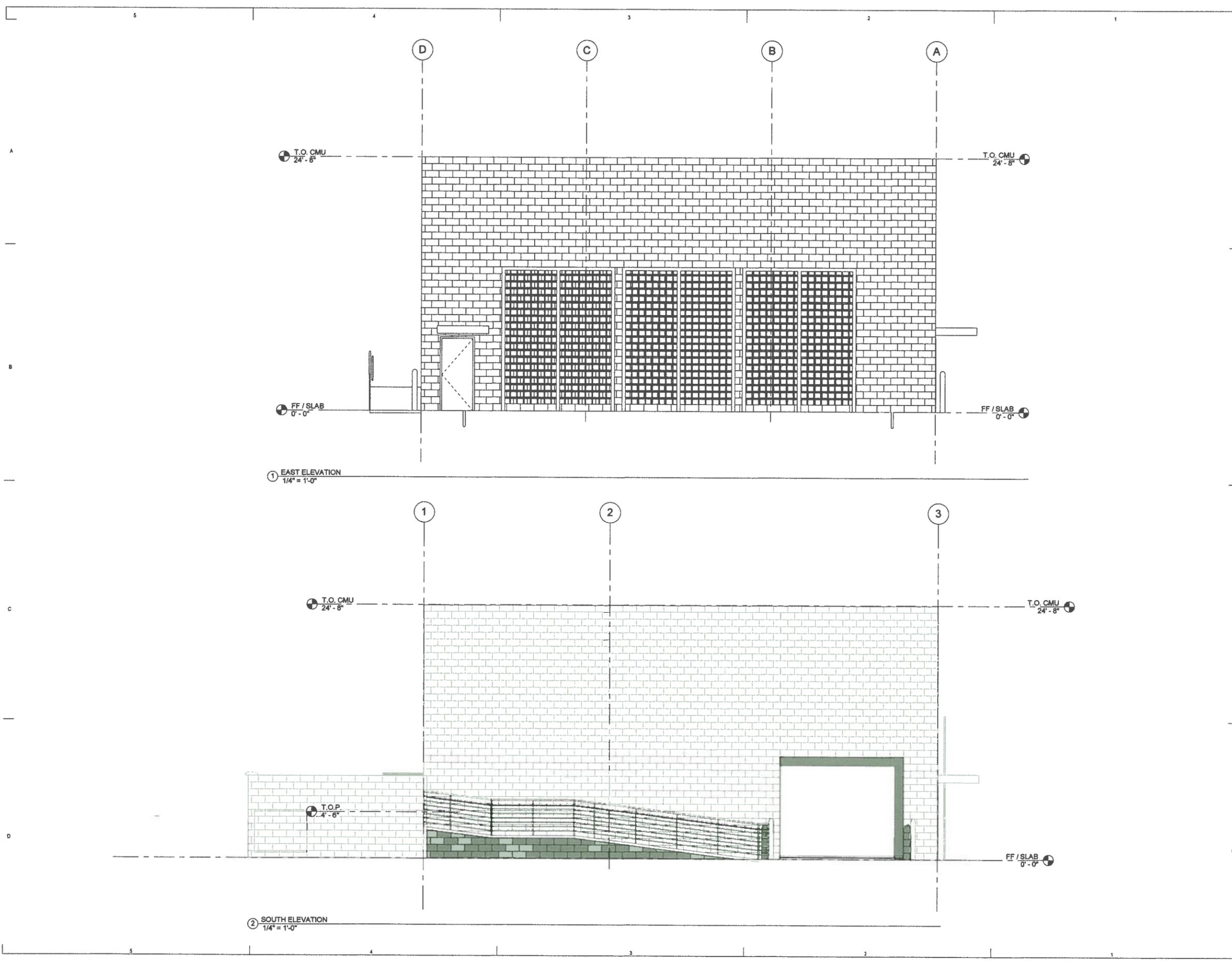
SHEET NAME:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A301

07.12.18



① EAST ELEVATION
1/4" = 1'-0"

② SOUTH ELEVATION
1/4" = 1'-0"